

Stewart Indian School Cultural Landscape Report

*Volume III of III
Preservation Approach
and
Treatment Plan*

August 31, 2009

Prepared for:



**Project Number: 07-S04a
State of Nevada Public Works Board
Carson City, Nevada**

Prepared by:



**Wyss Associates, Inc.
728 Sixth Street
Rapid City, South Dakota**

Cultural Landscape Report
for
Stewart Indian School
Volume III of III
Preservation Approach
And Treatment Plan

Owner:
Nevada State Public Works Board
515 E. Musser Street
Suite 102
Carson City, NV 89701
Ph. (775) 684-4141 Fax (775) 684-4142

Committee Members:

John Christopherson
Ron Crook
Cindy Edwards
Larry Hale
Rich Harvey
Pat McInnis
Jim Lawrence
Robert Nellis
Rebecca Ossa
Ward Patrick
Marty Phillips
Sherry Rupert
Jenny Scanland
Susan Stead
Steve Weaver

Landscape Architect/Prime Consultant:



Wyss Associates, Inc.
728 Sixth Street
Rapid City, SD 57701
Ph. (605) 348-2268 Fax (605) 348-6506
www.wyssassociates.com

With Sub-Consultants:
Sandra Wendel, Landscape Architect
Minden, NV 89423

Molly Sinnott, Certified Arborist
PO Box 3293
Carson City, NV 89702

August 31, 2009

Table of Contents

Executive Summary	1
Introduction	2
Scope	2
Study Process and Chronology	2
Phasing	3
Site Context.....	3
Condensed History of Stewart Indian School - Background.....	4
Origins.....	4
Changing Landscape	5
Building Inventory Sorted by Building Number	8-10
Building Inventory Sorted by Year Constructed.....	11-13
Preservation Treatment Plan - Options	14
Preservation	14
Rehabilitation	14
Restoration.....	14
Reconstruction	14
Site Analysis.....	15
Existing Conditions.....	15
Landscape Zones.....	15
Aerial Photo Sequence.....	16-19
Campus Aesthetics	20
Vehicular Circulation Patterns	20
Sidewalk Pavement Analysis	20
Parking Lots and Roadway Analysis	21
Vegetation Analysis.....	21
Existing Tree Conditions	22
Tree Recommendations	22
Arborist Recommendations	23
Existing Infrastructure.....	25
Landscape Treatment Plan	26
Conclusions and Recommendations	26
Save America's Treasures	27
Preserve America.....	27
Project Prioritization	28
Pedestrian Sidewalks and Secondary Pavement Improvements	29
Pedestrian Parking Lots and Roadway Improvements.....	30
Entry Gateway Corridor and Entrance Gate.....	31
School Infirmary Site	32
Interpretive Loop / Sidewalk Improvements	33
"Guide by Cell" Walking Tour and Interpretive Signage	34
Central Core Green-Space and Perimeter Parking	35
Sculpture Garden and Pool Interpretation Area	36

Relocation of Powwow Grounds and New Public Recreation Park	37
Floral Demonstration Area	38
Site Lighting	39
Tree Management Program	40
Site Signage	41
Original Auditorium Site (Bldg. No. 90).....	42
Original Gymnasium Site (Bldg No. 20).....	43
Original Commissary Site (Bldg. No 48).....	44
Power Lines and Poles.....	45
Residential Streetscape (Bldg. No. 27 through 34)	46
Model Residential Site.....	47
Reintroduce Tennis Court(s)	48
Bibliography	49-50
Meeting Notes:	
Appendix I Committee Meeting Minutes 10-30-07	Appendix I i-iii
Appendix II Committee Meeting Minutes 11-20-07	Appendix II i-iii
Appendix III Committee Meeting Minutes 12-18-07	Appendix III i-ii
Appendix IV Committee Meeting Minutes 02-14-08	Appendix IV i-iii
Appendix V Committee Meeting Minutes 03-18-08	Appendix V i
Appendix VI Committee Meeting Minutes 03-27-08	Appendix VI i-ii
Appendix VII Telephone Meeting Minutes 04-14-08	Appendix VII i
Appendix VIII Committee Meeting Minutes 4-15-08	Appendix VIII i-ii
Appendix IX Committee Meeting Minutes 5-20-08	Appendix IX i-ii
Appendix X Telephone Meeting Minutes 06-10-09	Appendix X i-v
Appendix XI Committee Meeting Minutes 4-15-08	Appendix XI i-iii
Appendix XII Cost Projection.....	Appendix XII i-vii
Plates Cover	
Divider-Section A: Landscape Analysis	
Vicinity and Trails Map	1
Facility/Building Locations by Era.....	2
Occupied Buildings.....	3
Landscape Zones.....	4
Aerial Photographs by Date	5
Vehicular Circulation Patterns	6
Pedestrian Sidewalks and Secondary Pavement Analysis.....	7
Parking Lots and Roadway Analysis	8
Vegetation Analysis.....	9
Existing Infrastructure.....	10
Divider-Section B: Treatment Plan	
Treatment Plan Project Locations	11
Entry Gateway Corridor and Entrance Gate.....	12
Entry Gateway Corridor and Entrance Gate.....	13
Entry Gateway Corridor and Entrance Gate.....	14
School Infirmary Site (Bldg. No. 102)	15
Interpretive Loop / Sidewalk Improvements	16

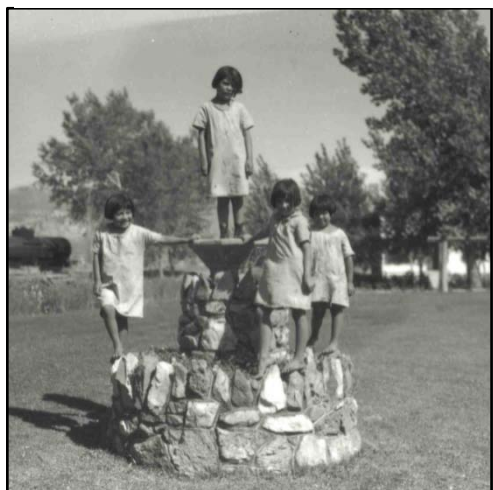
Guide by Cell Walking Tour and Interpretive Signage.....	17
Central Core Green-Space and Perimeter Parking	18
Sculpture Garden and Pool Area Interpretation	19
Relocation of Powwow Grounds and New Public Recreation Park	20
Relocation of Powwow Grounds and New Public Recreation Park	21
Floral Demonstration Area	22
Floral Demonstration Area	23
Site Lighting	24
Site Lighting	25
Site Lighting	26
Tree Management Program	27
Tree Management Program	28
Tree Management Program	29
Site Signage.....	30
Original Auditorium Site (Bldg. No. 90).....	31
Original Auditorium Site (Bldg. No. 90).....	32
Original Gymnasium Site (Bldg. No. 20).....	33
Original Commissary Site (Bldg. No. 48).....	34
Power Lines and Poles.....	35
Residential Streetscape	36
Model Residential Site.....	37
Reintroduce Tennis Courts.....	38
Potential Site Furnishings.....	39



▲ *The Landscape has been an important part of the Stewart Indian School.*



▲ *Timber trellis accented formal plantings.*



▲ *Stone planter was visible from campus gateway.*

Executive Summary

This Volume II of the Stewart School Cultural Landscape Report provides an analysis of the existing landscape features describes the preservation approach and proposes a treatment plan for the future.

The site analysis provides descriptions of the various campus districts as they developed over time, including the Central Core, (representative of Jeffersonian principles of campus master planning). The next district identified on campus is the open lawns and streetscapes bordering the central core. The agricultural, athletic fields and residential districts round out the total campus environment.

The analysis addresses pedestrian and vehicular circulation systems and rates the pavements in terms of good, fair and poor condition. Campus aesthetics is addressed and emphasizes the importance of the campus' central core, the stone building facades and tree plantings to the overall site appearance. Existing vegetation on the campus is thoroughly analyzed and Tree Management Program are proposed. A comprehensive map of the utility infrastructure is presented in the report.

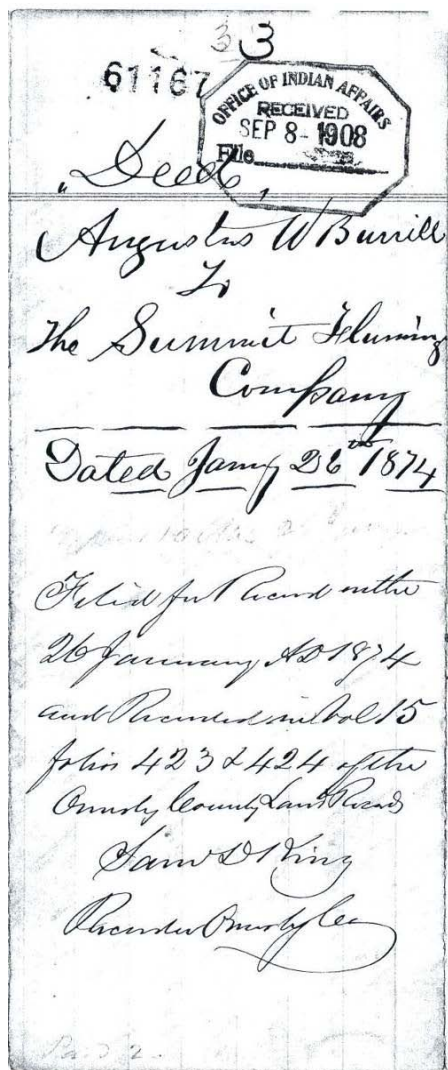
The preservation treatment approach is described in terms defined in the National Park Service Preservation Brief No. 36 *Protecting Cultural Landscapes*:

- Preservation
- Rehabilitation
- Restoration
- Reconstruction

The consultant prepared an evaluation matrix listing the numerous projects under consideration for the Stewart Facility campus. The matrix was completed by many of the working committee members, by the consultant and then reviewed and discussed during telephone conferences. The prioritization of projects was based upon a committee ranking system.

The projects proposed include a wide variety of campus landscape features, including selective building grounds reconstructions, pavement restoration and reconstruction, preservation of key landscape features, inclusion of landscape and campus interpretation, restoring and reconstructing athletic fields for ongoing use and powwow activities. Best management and plant maintenance procedures are included in the recommendations.

Mapping and illustrations of the site analysis and treatment plan are provided in the report. The recommendations in this Volume II of the report will form the basis for the final treatment plan and public outlay of the Stewart Indian School Cultural and Landscape Report.



▲ 1874 Deed to the Indian School Property

Introduction

Scope:

The physical scope of this report includes the State of Nevada owned properties known as the Stewart School Facility. This report is Volume II of a three volume study and provides a Preliminary Cultural Landscape Report. Volume I provided an Inventory of Existing Conditions and Applicable Standards. Volume III will include the Final Cultural Landscape Report and Public Outlay of the study recommendations.

This Volume II of the study provides:

- Landscape Analysis of campus site features
- Recommended Preservation Approach
- Landscape Zones
- Landscape Treatment Plan

Study Process and Chronology:

The preparation of this report follows a very thorough and comprehensive process. The project began in early November, 2006 with a kick-off meeting to identify the project scope, obtain stakeholder input, record sources for research, list key planning issues and tour the facility. (See Meeting Notes in Volume I, Appendix I) From November 2006 through January 2007 the consultant obtained, reviewed and catalogued historic photographs, records, websites and publications pertaining to the Stewart Indian School. These documents are listed in the attached Bibliography. That data base forms the basis of the study's inventory phase. A series of interviews took place in February 2007. These interviews included school alumni and past employees. The interviews were recorded and are summarized in the main body of the Volume I report.

Prior to completing the plan and conducting a public outlay of the report, the consultant developed existing conditions plans using available maps, surveys, aerial photos, etc. Using that data, the consultant analyzed and assessed pedestrian and vehicular circulation patterns, identified interpretive opportunities, reviewed in-place maintenance procedures, evaluated previous repairs to landscape elements, and studied previous landscape preservation plans and projects on the campus.

Phase II was initiated on September 13, 2007. During Phase II, the consultant made two visits to the site conducted a thorough landscape inventory and analysis of existing plant materials, prepared a pedestrian paving conditions report, prepared a roadway paving conditions report, and in conjunction with the working committee identified a list of 18 potential projects to be included in the Treatment Plan for the campus landscape. A comprehensive project evaluation matrix was prepared for committee and



▲ Agricultural lands and training on school property



▲ Traditional Activities



▲ Traditional Activities



▲ Campus Clubs provided for camaraderie and competition

consultant ranking of projects as they pertain to Historic Significance, Condition and Funding Potential. This Volume II provides documentation of the work completed over the last six months.

Phasing:

As noted above, this report will be completed in three volumes. Current schedule for completion of Phase I is in 2007 (accomplished), Phase II in 2008 (this document) and Phase III in 2009. Those target dates could change depending upon the timing of grant requests and awards.

Site Context:

Refer to Vicinity and Trails Map, Plate No. 1 of the accompanying plans.

The Stewart Facility campus is located with a growing and changing urban Carson City environment. On campus activities include those of the Indian Commission, Peace Officers Standards and Training (POST), Nevada Highway Patrol Training, Nevada Department of Correction Administration, Department of Public Safety Offices, residential and treatment facilities for non-profit groups and a treated wastewater lagoon. The campus is currently influenced by nearby residential development and a State of Nevada training emergency response training facility. Unused lands within the campus are classified as part of the State of Nevada land bank, and could be identified for new building construction sites.



▲ Powwow at existing grounds East of Building 6



▲ Trellis and
Ornamental Landscaping



▲ Ornamental
Gardens and Fountains



▲ Extensive Landscaping
on Campus

Condensed History of Stewart Indian School – Background

(Also included in Volume I of the study, with some modification.)

Origins:

The following is excerpted from the Department of Cultural Affairs Division of Museums and History exhibit pertaining to the Stewart Indian Facility. This brief history and chronology of activity illustrates the long history of the school.

For ninety years, Stewart Indian School addressed the federal government's issues of Indian education in Nevada. Located three miles southeast of Carson City, the school grounds encompassed 240 acres. The school opened on December 17, 1890 with 37 students and 3 teachers. Due to federal budget cuts and earthquake safety issues the school closed in 1980.

In 1888 the Nevada Legislature passed a bill to establish a school to train and educate Indian children. The original site was purchased from several ranchers. The campus opened with a capacity for 100 students and included a Victorian-style dormitory and school house. As enrollment increased new buildings included shops for training, a hospital and a recreation room. A platform for the Virginia and Truckee railroad was added by 1906 to help with transportation of students to and from the school. By 1919 the school had 400 students. During the next sixteen years over 60 native stone buildings were constructed by Hopi stonemasons.

Student curriculum focused on vocational training. Boys were taught ranching, mechanics, woodworking, painting and carpentry, while girls attended classes in baking, cooking, sewing, laundry and practical nursing. Vocational training remained the school's focus until the late 1960's when studies shifted to academics.

Sports became an area of pride for the school. Many students excelled and helped Stewart become a formidable opponent to competing schools, including the University of Nevada. Honors earned by athletes included the induction of Walter Johnson into the American Indian Athletic Hall of Fame in 1973 for track, football and basketball, the same year the new gymnasium was built.

The first Stewart reunion occurred in 1977 and attracted over 700 alumni. Three years later the school closed. A museum opened on the grounds in 1982 allowing visitors to learn about the school's history and remained open until the late 1990's. Today, Stewart Indian School is on the National Register of Historic Places. The Washoe Tribe occupies some buildings and the State of Nevada occupies most of the former school's buildings. Memorabilia from Stewart's history can be seen at the Nevada State Museum's Under One Sky exhibition.



▲ Parades at Stewart Indian School were a popular activity



▲ Outdoor areas provided for structured activities



▲ Swimming was a popular activity until the pool was closed

Originally built to serve Nevada Indian tribes, Stewart Indian School served as a boarding school for ninety years. During operation, the school was affected by federal government modifications to national Indian policy. Over the years, more than 30,000 Indian children attended Stewart Indian School.

1890s - School opens as Carson Indian Training School; Band and sports teams organized; First student produced newspaper, "The New Indian"

1900s - 1st 8th grade class graduates; Post Office opens, officially known as Stewart Indian School; Virginia & Truckee Railroad platform built

1910s - Baptist Mission erected; Hospital opens on campus

1920s - Stone buildings built under Superintendent Frederic Snyder; Meriam Report surveys national conditions of Indian education, recommends changes; Flogging forbidden

1930s - School expanded to students beyond 8th grade; Johnson O'Malley Act allows government to contract with public schools for the education of Indian children

1940s - Wa-Pai-Shone Trading Post opens, sells Indian made items; Navajo Special Project initiated based on 1868 treaty to provide more schools for Navajo students

1950s - Half of students are Navajo with many students from Western states

1960s - Primarily a High School; Formal vocational training ends, emphasis on academics; Last 6th grade class taught; Special Subcommittee on Indian Education criticizes school for poor academic and vocational curriculum; Title I program provides special academic assistance to students in reading and math

1970s - Gymnasium built; Sports complex added, nicknamed "Moccasin Square"; School accredited by Northwest Association of Secondary Schools; Some stone buildings found to be unsafe, proposal for new buildings made; Restoration monies refused

1980 - Bureau of Indian Affairs closes school

1982 - In 1982 the Federal Government transferred the Stewart Facility property to the State of Nevada, documented in a Quit Claim Deed dated July, 1982. In part, the deed states, "intends to use the real estate property herein described for public benefit primarily as a correctional institution and such other uses as the legislative branch of the State of Nevada shall deem appropriate".

The Changing Landscape:

Refer to Plate No. 2 of the accompanying plans for a color coded illustration of the campus eras.



▲ Outdoor recreation with water tower in background



▲ Outdoor recreation



▲ Training for fire fighting

Landscape development at the Stewart Facility followed similar patterns as the overall architectural campus development. The following are excerpts from *Architecture at the Stewart Indian School* by Kent L. Seavey prepared in 1982.

1887-1904

“The original building, a 140’ x 115’ two story wood frame all-purpose educational facility...The initial appearance of the Stewart Institute ...included two dwelling houses, barn, root house, shed and chicken house on 240 acres of land....A 200 ft. well was sunk and a wooden three-story water tower was constructed with a capacity of 10,000 gallons. A wagon yard, horse corral and calf pens were built for the agricultural operation of the institutions.”

1904 - 1919

A railway spur was extended to the campus in 1906. An inspection of the renamed Carson Indian School in 1915 led to the development of a 20 bed sanatorium. “The complex now included 21 buildings including a large boy’s dormitory, school house and assembly hall, domestic science building, hospital, employee’s building and mess, office building, shop, warehouse buildings and at least 8 residential cottages.” The new Superintendent at the time, James R. Royce intended to continue the work of beautifying the school grounds.

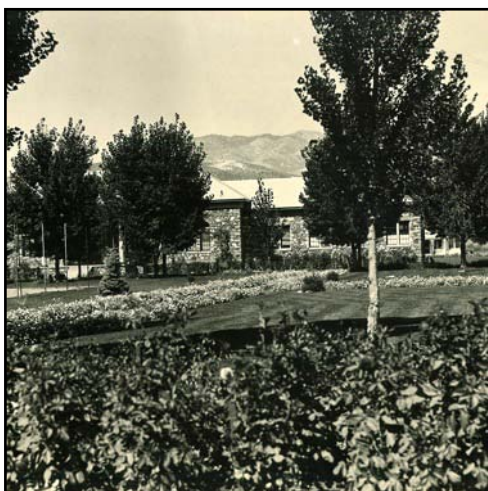
1919 – Mid 1930’s

Frederick Snyder became Superintendent of the Carson Indian School in 1919. “What he inherited upon his appointment was a collection of aging wood frame buildings, some dating as far back as 1890 and all in a state of deferred maintenance.” Of primary concern to Superintendent Snyder was the life and safety of the school’s students and faculty. “He was also interested in creating a happy environment for his pupils through a beautiful campus setting. Having noticed in his walks through the Northern Nevada countryside the variety of color and shape in the rock strewn landscape, he determined to build any new structures at Stewart in stone.” In his own words, Snyder wrote in his 1923 Annual report:

“The building (new dining hall) presents a very solid and substantial appearance and adds much to the appearance of the school grounds”.

Snyder is credited with initiating the policy of building the school buildings for long-term permanence and with the locally available stone. Jim Christopher was a skilled master stonemason, and worked on the Stewart buildings from the first one for Superintendent Snyder through 1939 when he was killed in a pedestrian accident.

Frederick Snyder was as much a gardener as he was educator and
 Page 6



▲ *Extensive ornamental plantings*



▲ *Formal planting at some entrances*



▲ *Poplars planted along fence lines and roads*

administrator. When he began his campus development he also instituted a planting program. By the time of his retirement in 1934 the Carson Indian School, by which name it was then known, was the garden spot of Nevada and the showplace of the off-reservation school system.

During Snyder's tenure the grounds of the Stewart Indian School reached their height. Fully one mile of flower beds at least ten feet wide lined the streets of the educational complex. These horticultural delights were maintained by staff and students alike and developed great interest in the educational plant as a scenic wonder in Northwestern Nevada. Snyder had constructed long pergolas over connecting concrete walkways to tie together most. This condition remained from the early 1920's to the mid-thirties, when his successor, Alida Bowler, one of the first women Indian Agency Superintendents in the Service, removed the planting beds in what may have been an economy move. It is not known if the pergola's disappeared at this time but a swimming pool that Snyder had dug in front of the administration building was filled. This pool acted as a back-up reservoir in case of fire and functioned in the same manner during times of drought for campus irrigation (see photo No. 7). The pool had cracked twice before Ms. Bowler stopped its use. (Tennis courts built at this time in front of building No. 6 were still in use in 1943)"

Mid 1930's – 1956

During World War II many young men enlisted and funds were short for building and grounds maintenance at the Stewart Facility. There was a certain level of deterioration due to circumstances. The last stone building was constructed in 1956 by school maintenance and student apprentices.

1956 – Present

New construction ceased with buildings and grounds maintenance continuing as needed. Questions have arisen over time concerning the seismic stability of the structures. The campus still maintains a "park like" setting, even though the quantity of trees is diminishing rapidly and many of the buildings stand vacant. Current grounds maintenance practices seek to automate turf irrigation and stay-the-course with the landscape condition around occupied buildings.

Building Inventory Sorted Building Number:

Stewart Building Number	Building Name	Current Building Use	Square Footage	Year Constructed
S:1	Administration		5,002	1923
S:2	Post Office	B&G Storage	362	1926
S:3	Superintendent's Cottage		4,964	1930
S:4	Superintendent's Guest House		662	1938
S:6	Small Girls' Dormitory	Prisons	18,743	1930
C:8	Superintendent's Garage	Information Services	720	1930
S:9	Cottage	Neal Coston	1,269	1939
S:11	Principal's Cottage		1,182	1925
S:12	Girls' Dormitory No. 2	DMV	14,572	1941
S:13	Girls' Dormitory No. 1	DMV	14,572	1941
S:14	Wa-Pai-Shone Trading Post		1,043	1939
S:15	Kitchen and Dining Room	Prison Industries	11,444	1923
S:16	Girls' Dormitory No. 3		8,416	1942
C:18	Garage	Prisons	3,700	1936
S:19	Bakery	LCB Storage	1,646	1926
S:20	Gymnasium		8,824	1938
S:21	Sierra Lodge No. 1		7,262	1937
S:22	Sierra Lodge No. 2	DMV & PS Storage	5,385	1937
S:23	Sierra Lodge No. 3		5,384	1937
S:24	Sierra Lodge No. 4		5,385	1937
S:25	Sierra Lodge No. 5		5,385	1937
S:27	Teacher's Cottage		1,684	1937
S:28	Employees' Club		2,514	1937
S:29	Employees' Quarters		2,527	1937

S = Significant C = Contributing

Stewart Building Number	Building Name	Current Building Use	Square Footage	Year Constructed
S:30	Employees' Quarters		2,256	1939
S:31	Cottage		1,688	1939
S:32	Cottage	Advocates	1,688	1941
S:33	Employees' Duplex	Advocates	2,490	1941
S:34	Employees' Duplex		2,490	1941
S:35	Cottage		1,229	1941
S:36	Cottage		1,229	1942
37	Cottage		1,433	1956
S:44	Cottage	Capitol Police	650	1937
S:45	School Laundry		2,373	1931
S:46	Sewing Room		1,773	1938
C:47	Garage		2,088	1930
C:48	Commissary	Prisons Storage	3,049	1920
S:57	Living Quarters	FOCUS	2,750	1939
S:60	Duplex	Advocates	2,490	1939
61	Duplex	FISH	1,852	1949
S:65	Cottage	Advocates	1,272	1937
S:67	Four plex	Advocates	4,862	1939
C:68	Industrial Shops		8,558	1931
C:70	Blacksmith Shop	B&G Storage	2,198	1910
C:84	Commissary East	B&G Office	5,239	1931
S:89	Small Boys' Dormitory	Prisons	17,545	1931
S:90	Auditorium		5,168	1925
S:92	Central Heating Plant	B&G	3,825	1924
C:94	Pump House	[not for occupancy]		1938
C:96	Filter Plant	B&G	2,017	1940
S:102	School Infirmary		3,000	1904

Stewart Building Number	Building Name	Current Building Use	Square Footage	Year Constructed
S:110	Cottage	FISH	1,513	1939
S:112	Horse Barn		2,522	1925
S:114	Dairy Barn	Storage OTS	3,139	1925

S = Significant C = Contributing

Building Inventory Sorted by Year Constructed:

The following chart identifies (in order of construction dates) the existing historic buildings on the Stewart campus, their current use (in 2008), name, number, size and year constructed. Historically, the landscape development associated with specific buildings occurred concurrently with the building construction.

Stewart Building Number	Building Name	Current Building Use	Square Footage	Year Constructed
S:102	School Infirmary		3,000	1904
C:70	Blacksmith Shop	B&G Storage	2,198	1910
C:48	Commissary	Prisons Storage	3,049	1920
S:1	Administration		5,002	1923
S:15	Kitchen and Dining Room	Prison Industries	11,444	1923
S:92	Central Heating Plant	B&G	3,825	1924
S:11	Principal's Cottage		1,182	1925
S:90	Auditorium		5,168	1925
S:112	Horse Barn		2,522	1925
S:114	Dairy Barn	Storage OTS	3,139	1925
S:2	Post Office	B&G Storage	362	1926
S:19	Bakery	LCB Storage	1,646	1926
S:3	Superintendent's Cottage		4,964	1930
S:6	Small Girls' Dormitory	Prisons	18,743	1930
C:8	Superintendent's Garage	Information Services	720	1930
C:47	Garage		2,088	1930
S:45	School Laundry		2,373	1931
C:68	Industrial Shops		8,558	1931
C:84	Commissary East	B&G Office	5,239	1931
S:89	Small Boys' Dormitory	Prisons	17,545	1931
C:18	Garage	Prisons	3,700	1936
S:21	Sierra Lodge No. 1		7,262	1937
S:22	Sierra Lodge No. 2	DMV & PS Storage	5,385	1937
S:23	Sierra Lodge No. 3		5,384	1937

Stewart Building Number	Building Name	Current Building Use	Square Footage	Year Constructed
S:24	Sierra Lodge No. 4		5,385	1937
S:25	Sierra Lodge No. 5		5,385	1937
S:27	Teacher's Cottage		1,684	1937
S:28	Employees' Club		2,514	1937
S:29	Employees' Quarters		2,527	1937
S:44	Cottage	Capitol Police	650	1937
S:65	Cottage	Advocates	1,272	1937
S:4	Superintendent's Guest House		662	1938
S:20	Gymnasium		8,824	1938
S:46	Sewing Room		1,773	1938
C:94	Pump House	[not for occupancy]		1938
S:9	Cottage	Neal Coston	1,269	1939
S:14	Wa-Pai-Shone Trading Post		1,043	1939
S:30	Employees' Quarters		2,256	1939
S:31	Cottage		1,688	1939
S:57	Living Quarters	FOCUS	2,750	1939
S:60	Duplex	Advocates	2,490	1939
S:67	Four plex	Advocates	4,862	1939
S:110	Cottage	FISH	1,513	1939
C:96	Filter Plant	B&G	2,017	1940
S:12	Girls' Dormitory No. 2	DMV	14,572	1941
S:13	Girls' Dormitory No. 1	DMV	14,572	1941
S:32	Cottage	Advocates	1,688	1941
S:33	Employees' Duplex	Advocates	2,490	1941
S:34	Employees' Duplex		2,490	1941
S:35	Cottage		1,229	1941
S:16	Girls' Dormitory No. 3		8,416	1942

S = Significant C = Contributing

Stewart Building Number	Building Name	Current Building Use	Square Footage	Year Constructed
S:36	Cottage		1,229	1942
61	Duplex	FISH	1,852	1949
37	Cottage		1,433	1956

S = Significant C = Contributing

➤ *Historic photo of Building No. 3*



➤ *Current photo of Building No. 3*





▲ *Historic campus photo*



▲ *Swimming pool was actively used*



▲ *Formal landscape at trellis*

Preservation Treatment Plan- Options

There are four types of treatments that could be considered for the Stewart Indian School landscape. The selection of these various treatments determines the Preservation Approach selected for the future landscape. The four treatments that could be considered and as defined in the National Park Service Preservation Brief No. 36 *Protecting Cultural Landscapes* are:

Preservation:

Preservation: is defined as the act or process of applying measures necessary to sustain the existing form, integrity and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

Rehabilitation:

Rehabilitation: is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical or cultural values.

Restoration:

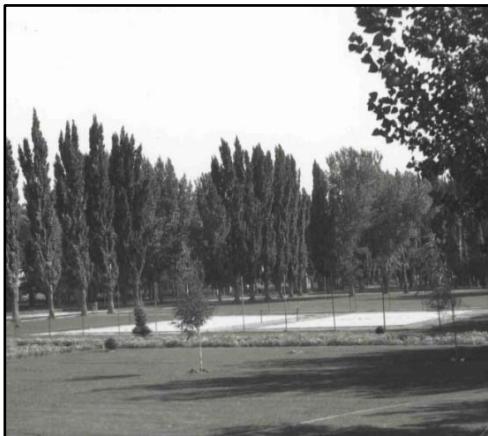
Restoration: is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

Reconstruction:

Reconstruction: is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.



▲ *Outdoor activities provided places for social interaction*



▲ *Tennis Courts*



▲ *Historic gas pumps*

Site Analysis

Refer to Plates 1 through 9 on the accompanying plans.

This Site Analysis portion of the report evaluates the numerous campus features as they pertain to the future restorative work on the site.

Existing Conditions:

Volume I of this study delineates the existing conditions of the campus landscape including:

- Vehicular Circulation
- Pedestrian Circulation
- Active Outdoor Recreation
- Sports
- Outdoor Furnishings
- Utility Corridors
- Plant Materials
- Maintenance
- Interpretation

Landscape Zones:

Refer to Plate No. 3 in the accompanying plans.

The Center Core is the defining landscape of the Stewart Facility campus. Campus buildings connected by landscape lawns and trellises are a concept first used by Thomas Jefferson in the layout of the University of Virginia campus. This Jeffersonian model has been used for campus planning throughout the USA and adds to the historic significance of the Stewart Indian School landscape. The site and structures that border the central core comprise another district, and is dominated by a strong streetscape and open lawn appearance. The remaining districts include the agricultural area to the south, the athletic field area also to the south and the residential area on the west side of the campus.

Aerial Photo Sequence:

Refer to Plate No. 4 of the accompanying plans for a side-by-side illustration of the four aerial photos used in this report.

The consultant has utilized four distinct Aerial Photos of the campus in preparing this study. The 1938 aerial photo was obtained from the archival office of the University of Nevada Reno. The 1954, 1974 and 2003 aerial photos were obtained from the Nevada State Public Works Board. One primary use of the aerial photos in this report is to validate specific historic eras recommended in the Landscape Treatment Plan and to cross reference with building construction dates listed in the Building Inventory above.

The 1938 aerial photo illustrates quite nicely the landscape enhancements accomplished during the Snyder Era (1919 to mid 1930's). Extensive tree cover, open lawns, swimming pool, tennis courts and gardens and building configurations are easily recognized on this photo.



The 1954 aerial photo illustrates the continuation of campus development including new buildings, the football field development, expansion of the residential areas and the continuation of street tree plantings. A comparison of the 1938 photo with 1954 photo shows a significant loss of trees along Jacobsen Way.



The 1974 aerial photo illustrates significant historic features of the campus master plan. This photo predates the construction of the Nevada Department of Corrections Administration Building 17 and the New Gymnasium Building 160 both of which significantly altered the historic appearance of the campus. This photo also illustrates the relocation of the ball field which included an expansion of the track and field opportunities. This is a clear example of the importance sports activities to the campus environment.



The 2003 aerial photo depicts the campus as we know it today. The photo illustrates the campus facility and due to the summer season also illustrates the locations of irrigated and unirrigated landscape areas.





▲ *Stone facades contribute to the historic fabric of the campus (Bldg. 1 shown)*



▲ *Use of historic detailing on new construction could be used selectively on a case-by-case basis.*



▲ *Sidewalk deterioration*

Campus Aesthetics:

Merriam-Webster's on line dictionary defines aesthetics as "*a particular theory or conception of beauty or art: a particular taste for or approach to what is pleasing to the senses and especially sight*". In other words "beauty is in the eye of the beholder". Based upon our on-site observations the current campus aesthetics is exhibited by the pedestrian only areas of the central core of the campus, the stunning stone exteriors of the historic buildings and the aging but dramatic street tree plantings. Historically, the campus aesthetics was also defined by the extensive ornamental landscaping of the Snyder Era.

Vehicular Circulation Patterns:

Refer to Plate No. 6 of the accompanying plans for a color coded illustration of the campus vehicular circulation patterns.

In a review of historic maps and aerial photos, one can see that circulation patterns on the Stewart Campus were firmly established from the start. The 1938 aerial photo clearly shows that the vehicular circulation patterns were set at the very beginning of campus development. Primary access occurs from Snyder Avenue with one primary loop road connecting the central campus. Staff interviews have suggested that on occasion automobile drivers attempt to cross the campus on the sidewalks, which should be addressed in the Treatment Plan. A secondary road accesses Gibson Avenue from Center Drive. The cottage area is served by looping roads, fairly typical of suburban residential planning. Parking is a combination of on-street stalls and off-street lots dispersed throughout the campus. Perpendicular parking added when the Nevada Department of Corrections building (building 17) was constructed has significantly altered the Jacobsen Way streetscape. The large parking lot located behind the Nevada Department of Corrections (building 6) has paved over a significant campus open green space.

Pedestrian Sidewalks and Secondary Pavement Analysis:

Refer to Plate No. 7 of the accompanying plans for a color coded illustration of the campus pedestrian sidewalks and secondary pavement analysis.

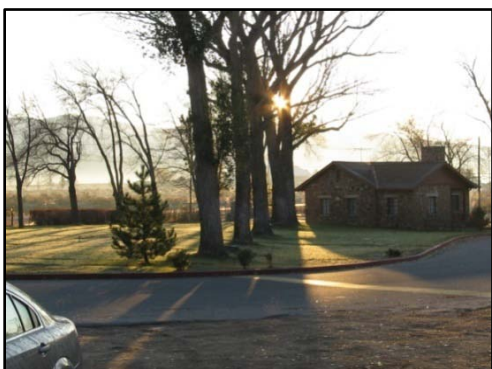
The central campus (buildings 1-4, 6, 8, 12-21) are connected internally by a series of linear walkways running parallel and/or perpendicular to the building facades. Some of the walkways are built over the Steam Tunnels. The walks are in various states of condition and affect the safety and overall appearance of the landscape. Each pavement was rated as Poor Condition (severe deterioration) Fair Condition (keep on watch list) or Good Condition (uniformly stable).



▲ Some road paving is cracking



▲ Landscape design accents walkways



▲ Tree conditions vary

Parking Lots and Roadway Analysis:

Refer to Plate No. 8 of the accompanying plans for a color coded illustration of the campus parking lots and analysis.

Each pavement was rated as Poor Condition (non-uniform material, severe deterioration) Fair Condition (limited but obvious deterioration) or Good Condition (uniformly stable). Dirt surfaced areas are also located on this plan. The accompanying plan on Plate No. 7 illustrates the location of each.

Vegetation Analysis:

Refer to Plate No. 9 of the accompanying plans for a color coded illustration of the campus vegetation (tree) analysis.

Ornate and maintenance intensive floral displays were a prominent part of the campus while Mr. Snyder was School Superintendent (from 1919 to the mid 1930's). Subsequent to Mr. Snyder's position, the landscape was maintained in varying conditions, by school personnel and as student training. During the World War II years, maintenance deteriorated due to lack of funds. Currently, the landscape is well maintained near occupied buildings and left to withstand the arid climate elsewhere.

Grounds maintenance generally included watering and mowing the lawns, trimming trees and bushes and maintaining the grounds in a well kept appearance.

Through proper tree pruning and ongoing proper landscape maintenance, there could be an increased lifespan response in the majority of trees at the Stewart Facility of 75+ years. But before any pruning is performed, the development of tree pruning specifications is suggested. These specifications would include industry approved pruning standards and tree service qualification requirements so that the Stewart Facility trees are not ruined by improper work. The goal of competent, professional tree pruning is that the general public not be able to see the pruning that has been done, that the structure of the tree remains intact, never topping. Prior to any pruning an evaluation of what trees need to be removed and the pruning needs of the remaining trees is suggested to be performed. This would set a scope of work rather than a tree service directing the scope. The pruning could be carried out in phases as each of the individual areas come under development (with the exception of hazard trees).



▲ *Entry Gateway in need of attention
See Entrance Concept, Plate No. 13*



▲ *Some evergreens are mature but
healthy*



▲ *Street trees are in
state of decline*

Existing Tree Conditions:

1. All of the cottonwoods and elms are in need of pruning. Some need hazard reduction pruning, some need extensive pruning and others need minimal pruning.
2. The cottonwoods that are in poor condition are recommended to be evaluated for removal prior to spending any monies for pruning. This does not mean that all of the poor condition trees need to be removed. Use Merit if the tree is a specimen tree.
3. The birch trees are susceptible to bronze birch borer infestation, a Merit soil application would prevent infestation.
4. The amount of growth on the majority of trees and shrubs appears minimal, appropriate watering and/or fertilization could improve this.

Tree Recommendations:

1. Establish a pruning schedule based on the work items listed below.
 - a. Tree Removals: remove severely declining & hazardous trees. Removal may be preferred over pruning if the cost of pruning exceeds the value of the tree.
 - b. Personal Safety Pruning: prune to reduce the risk for tree failure where vehicle & pedestrian interaction occurs on a regular basis.
 - c. Vehicle & Pedestrian Clearance Pruning: prune limbs overhanging streets & sidewalks to provide clearance for vehicles & pedestrians.
 - d. Structure Clearance Pruning: prune to remove specific limbs or portions of limbs hanging on roofs or overhangs, limbs that drag on roofs or overhangs when they have snow/ice load, limbs that are blocking windows, blocking lights, etc.
 - e. Tree Health & Tree Structure Pruning: prune to reduce heavy hanging limb weight to prevent them from snapping or ripping out, remove double leaders, conflicting branches, etc.
 - f. Aesthetic Pruning: prune to remove branches or limbs for improved appearance, watersprouts on the trunks, suckers at the base, etc.
2. Decide whether the cost of Merit applications will exceed the value of the birch trees.
3. Determine if any of the removal trees could be cut to a height that would provide wildlife habitat (somewhat short in the interior areas, taller in outlying areas).
4. Evaluate the irrigation or lack of in all areas. Be sure that complete water coverage is being achieved where there is irrigation; where there is no irrigation consider installing or supplying a temporary system.
5. Conduct soil tests in various areas to see if the turf fertilization is meeting the needs of the trees. Where there is no turf, conduct soil tests at various sites to see if the soil is meeting the needs of the trees and will continue to



▲ *Infirmary is oldest building on campus*



▲ *Building 3 houses the Nevada Indian Commission*



▲ *Landscape should be addressed comprehensively*

do so.

6. Prune on a three to five year cycle (a regular basis) to be proactive rather than reactive. This is able to be budgeted for and almost always necessary when dealing with cottonwoods and old trees. This type of scheduled pruning sometimes involves a lot of pruning or minimal pruning.

7. Once the pruning is completed, maintenance standards are suggested to be in place to ensure consistency on the Stewart Facility grounds. Maintenance standards include proper watering, fertilizing and pruning scheduling, proper use of equipment so as not to create mechanical damage (weed eater and mower wounds at the base of trees), maintenance personnel training, etc.

8. Annual inspections are suggested for hazard prevention, liability issues.

A single incident with construction equipment can totally destroy years of maintenance invested; tree protection specifications can help to deter this. The root zones under the dripline of trees also need to be protected during construction. If pavement needs to be installed, removed or replaced adjacent to an existing tree, root pruning will need to be performed correctly. Design standards include planter sizes such as continuous planters to ensure healthy root growth, reduce hardscape conflict and ensure tree stability. Other design considerations are tree species types, (avoid tree species known to fail or create future problems), nursery stock sizes, new tree & shrub installation guidelines, etc.

Arborist Recommendations:

1. Pruning
 - a. pruning standards
 - b. pruning needs are severe to moderate to minimal
 - c. watersprouts on trees
 - d. shrubs overgrown and structure
2. Insect Control
 - a. appropriate insecticides
 - b. bronze birch borer
 - c. elm leaf beetle
3. Maintenance
 - a. appropriate herbicides
 - b. turf away from base of trees
 - c. trunk guards

4. Abiotic

a. define sapsucker bird injured

- 1) The holes the birds drill in trees are damage that is quite often mistaken as bark beetle infestation and then the trees end up being sprayed unnecessarily or removed. There are no controls measures.

5. Disease

a. bacterial wetwood

- 1) This is a disease that is often mistaken as something that is detrimental to the trees and the trees end up being sprayed unnecessarily or removed. There are no control measures



▲ *Some walkways have abandoned steam tunnel underneath*



▲ *Limited site furnishings currently on campus*



▲ *Limited site furnishings currently on campus*

Existing Infrastructure:

Refer to Plate No. 10 of the accompanying plans for a color coded illustration of the campus infrastructure plan.

Utilities are dispersed throughout the campus, with a wide array of heat vaults, water lines, sewer lines and power cables, storm sewers, natural gas lines and communication networks. Utility maps were identified and catalogued as part of this report. The determination of the condition of these infrastructure elements goes beyond the scope of this study.

The arid climate of Carson City defines two types of landscapes: irrigated and unirrigated. Unirrigated landscapes generally consist of indigenous varieties of trees shrubs and ground covers and may include xeriscaping techniques. These plant materials have evolved to survive in the local soils and micro-climates. The other type of landscapes relies on irrigation for plant survival. Maintenance staff at the Stewart Facility is adding irrigation where possible on turf areas. The park like design of the campus landscape basically determines that the landscape features will be dependent upon irrigation systems for survival. Water is brought in from a diversion structure on Clear Creek and gravity fed to the site for grounds irrigation purposes.

Limited outdoor furnishings have been identified on the campus. Randomly placed picnic tables and barbeque grills are located throughout the campus. Some inclusion of new picnic tables benches and water fountains would assist with outdoor use by current campus users.

Illustrations of potential site furnishing styles are presented on Plate No. 39 of the accompanying plans



Landscape Treatment Plan

Refer to Plates No. 7 and No. 8 of the accompanying plans for the pedestrian and vehicular pavement analysis.

Refer to Plate No. 11 of the accompanying plans for a composite drawing of the locations for the 18 separate projects under consideration in this treatment plan.

The consultant and the Stewart Facility Committee have identified a series of potential projects for consideration in the Treatment Plan. A matrix was prepared by the consultant and completed by the consultant and numerous committee members. The totals on the accompanying matrix represent the result of that evaluation process.

Conclusions and Recommendations:

The Stewart Facility is a highly unique and historically significant campus landscape. The campus plan represents a fine example of Jeffersonian campus planning (At the University of Virginia, Thomas Jefferson created an icon of American campus planning: a village of modest one and two story buildings around the perimeter of a green commons.) The open lawns, majestic trees and unique buildings combined with the human experiences over time lead us to conclude the great importance of restoring and preserving this facility. We have identified, with the collaboration of the study committee a list of specific projects, all of which are significant to the site. A process of prioritization offers a first ranking of the projects into a timeline, dependent upon funding.

Numerous funding sources may be considered for these projects, such as:

- State of Nevada Capital Improvement Projects, to restore the buildings to modern uses
- State of Nevada special grants
- Public Private partnerships, such as local track and field groups
- Save America's Treasures Grants for the National Trust for Historic Preservation
- Preserve America grants
- Historic American Landscapes program grants by the federal government
- Federal Emergency Management Agency Grants
- Trail Grants
- TEA 21 Enhancement Grants
- Potential joint use and funding by the State of Nevada and City of Carson City for rehabilitation of Auditorium, Track and Field complex and others.



Save America's Treasures:

The Federal Save America's Treasures program is one of the largest and most successful grant programs for the protection of our nation's endangered and irreplaceable and endangered cultural heritage. Grants are available for preservation and/or conservation work on nationally significant intellectual and cultural artifacts and historic structures and sites. Intellectual and cultural artifacts include artifacts, collections, documents, sculpture, and works of art. Historic structures and sites include historic districts, sites, buildings, structures, and objects.

Grants are awarded to Federal, state, local, and tribal government entities, and non-profit organizations through a competitive matching-grant program, administered by the National Park Service in partnership with the National Endowment for the Arts, the National Endowment for the Humanities, the Institute of Museum and Library Services and the President's Committee on the Arts and the Humanities.

NOTE: Save America's Treasures (SAT) grant deadline May 20, 2008

Beginning in 2008, the National Park Service will accept applications ONLY through www.grants.gov, the Federal Government Grant Web site. Paper applications will NOT be accepted. Make sure to register as an organization on www.grants.gov before starting the application process. This registration process can take up to four weeks. Awards will be made in late 2008.

Preserve America:

Preserve America is a White House initiative that encourages and supports community efforts to preserve and enjoy our priceless cultural and natural heritage through developing a greater shared knowledge about the Nation's past, strengthening regional identities and local pride, increasing local participation in preserving the country's cultural and natural heritage assets, and supporting for the economic vitality of the nation's communities.

Cities, counties, towns and Indian tribes as well as eligible neighborhoods within cities with a population of 200,000 or more may apply to be recognized as "Preserve America Communities." Designated communities may compete for Preserve America grants. Guidelines, applications, and other information are available online at <http://www.preserveamerica.gov/overview.html>.

Project Prioritization:

The following spreadsheet delineates the project priorities based on committee consensus. The sheets following this spreadsheet describe the treatment plan projects on a case by case basis.

	0-5 Year Completion Time
	5-10 Year Completion Time
	10+ Year Completion Time

1	Entry Gateway Corridor and Entrance Gate - 1938
2	School Infirmary Site (Bldg. No. 102) - 1904
3	Interpretive Loop/ Sidewalk Improvements
4	'Guide by Cell' Walking Tour and Interpretive Signage - Current Plan Engaged to Establish an Audio Campus Walking Tour (Completed)
5	Central Core Green-Space and Perimeter Parking
6	Sculpture Garden and Pool Area Interpretation - 1938 to Present
7	Relocation of Powwow Grounds and New Public Recreation Park - Post 1958
8	Floral Demonstration Area - 1938 Cross-Section
9	Site Lighting
10	Tree Management Program - 1938 and 1958
11	Site Signage: Directional and Interpretive - Various Eras
12	Original Auditorium Site (Bldg. No. 90) - 1938
13	Original Gymnasium Site (Bldg. No. 20) - 1938
14	Original Commissary Site (Bldg. No. 48) - 1938
15	Power Lines and Poles - Current Plan Engaged to Place Existing Overhead Power Underground
16	Residential Streetscape - 1938
17	Model Residential Site- 1938
18	Reintroduce Tennis Court(s) 1938 and 1958

Wyss Associates, Inc



Pedestrian Sidewalks and Secondary Pavement Improvements:

Refer to Plate No. 7 of the accompanying plans for a color coded illustration of the campus sidewalks and secondary pavements analysis.

Project Prioritization: *not ranked*

Project Evaluation Matrix Rankings

Historic Criteria: *not ranked*

Condition Criteria: *not ranked*

Funding Criteria: *not ranked*

Treatment Type: *Restoration*

Treatment Era: *All*

Pedestrian pavements are in various states of condition, and should be replaced for public safety reasons, irrespective of their matrix ranking. Each pavement was rated as Poor Condition (severe deterioration), Fair Condition (keep on watch list) or Good Condition (uniformly stable). The accompanying plan on Plate No. 7 illustrates the location of each.



Pedestrian Parking Lots and Roadway Improvements

Refer to Plate No. 8 of the accompanying plans for a color coded illustration of the campus parking lots and primary pavements analysis.

Project Prioritization: *not ranked*

Project Evaluation Matrix Rankings

Historic Criteria: *not ranked*

Condition Criteria: *not ranked*

Funding Criteria: *not ranked*

Treatment Type: *Restoration*

Treatment Era: *All*

Vehicular pavements are in various states of condition, and should be replaced for public safety reasons, irrespective of their matrix ranking.



Entry Gateway Corridor and Entrance Gate:

Refer to Plates No. 12, No. 13, and No. 14, of the accompanying plans for corridor features and Plate No. 27 through 29 for Tree Management Program.

Entrance Corridor features and.

Project Prioritization: 1 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 9 of 18

Condition Criteria: 6 of 18

Funding Criteria: 2 of 18

Treatment Type: *Reconstruction*

Treatment Era: 1919 – mid 1930's

This work includes the reconstruction of the campus entrance gateway, identification of pool boundaries, garden sculptures, original yard planter, relocation of 90 degree parking on Jacobsen Way to off-street locations, moving the parking behind the Nevada Department of Corrections (Building No. 6) to the west, and re-planting of street trees.



School Infirmary Site (Building No. 102):

Refer to Plate No. 15 of the accompanying plans.

Project Prioritization: 2 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 2 of 18

Condition Criteria: 2 of 18

Funding Criteria: 1 of 18

Treatment Type: *Reconstruction*

Treatment Era: *1887 – 1904*

This is the oldest surviving building on the Stewart Facility campus, is in a prominent location and deserves grounds restoration in conjunction with building rehabilitation. The grounds reconstruction would include tree and shrub plantings, new pavement, lawn reconstruction and irrigation system.



Interpretive Loop / Sidewalk Improvements:

Refer to Sheet No. 16 of the accompanying plans.

Project Prioritization: 3 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 12 of 18

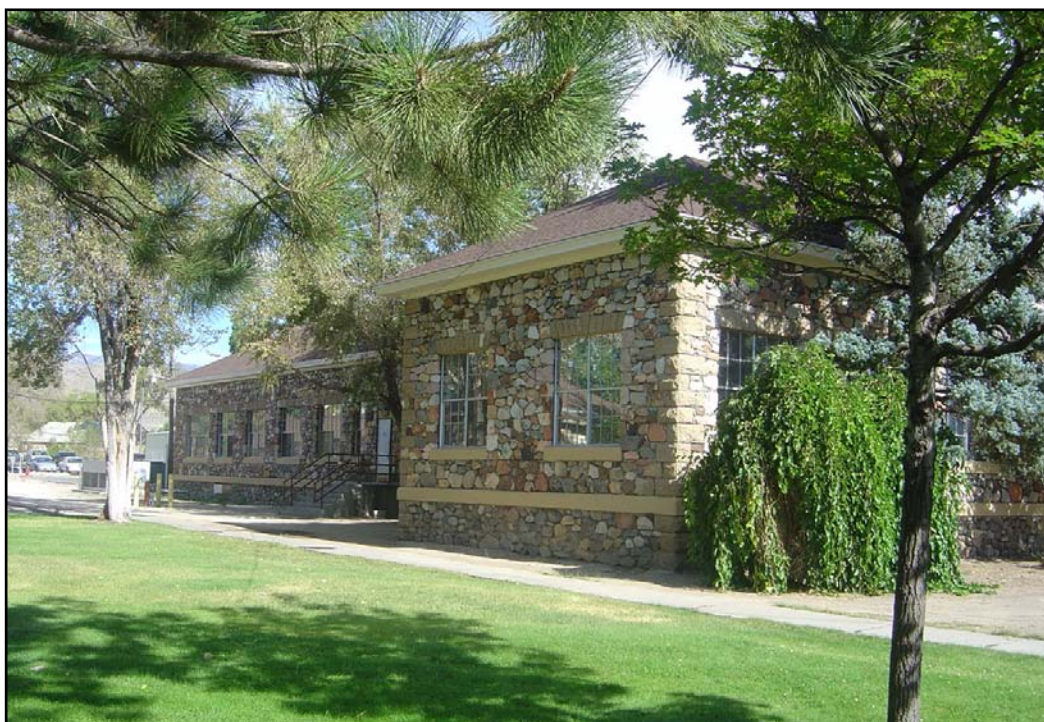
Condition Criteria: 10 of 18

Funding Criteria: 5 of 18

Treatment Type: *New Feature*

Treatment Era: *Various*

The Nevada Indian Commission is currently engaged in a plan to establish an audio walking tour for the campus.



“Guide by Cell” Walking Tour and Interpretive Signage: (Completed)

Refer to Plate No. 17 of the accompanying plans.

Project Prioritization: 4 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 11 of 18

Condition Criteria: 9 of 18

Funding Criteria: 12 of 18

Treatment Type: *New Feature*

Treatment Era: *Undetermined*

This interpretive program is currently being developed and implemented by the Nevada Indian Commission.



Central Core Green-Space and Perimeter Parking:

Refer to Plate No. 18 of the accompanying plans.

Project Prioritization: 5 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 3 of 18

Condition Criteria 3 of 18

Funding Criteria: 18 of 18

Treatment Type: Preservation and *Restoration*

Treatment Era: *All Eras*

The center green space is the defining landscape of the campus. Work under this portion of the Treatment Plan would include expansion of irrigation system to keep the turf in a healthy condition, reintroducing some of the building foundation plantings and reconstruction of the deteriorating walkways. Parking relocation is addressed elsewhere in this report. The campus plan also illustrates the importance of the grounds that surround the central green space as well as the nearby residential and athletic land



Sculpture Garden and Pool Area Interpretation:

Refer to Plate No. 19 of the accompanying plans.

Project Prioritization: 6 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 7 of 18

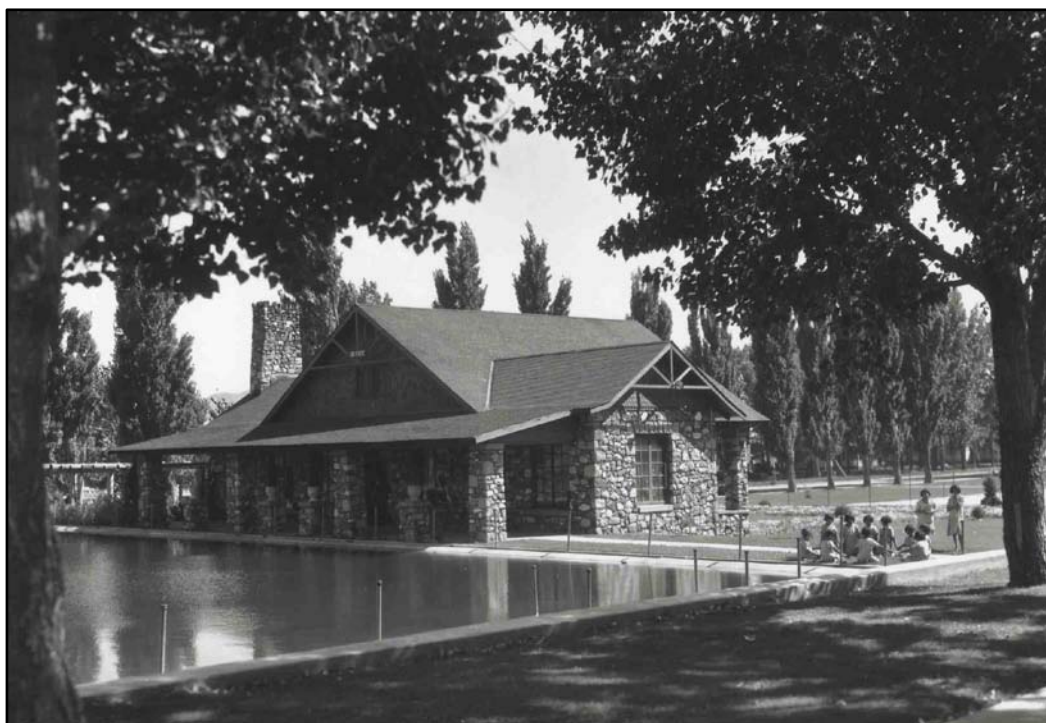
Condition Criteria: 11 of 18

Funding Criteria: 3 of 18

Treatment Type: *Reconstruction*

Treatment Era: 1920 – mid 1930's

This work includes a delineated boundary of original pool location and interpretive signage. This would be a memorial honoring the Alumni.



Relocation of Powwow Grounds and New Public Recreation Park (South of Building No. 70):

Refer to Plate No. 23 and No. 24 of the accompanying plans.

Project Prioritization: 7 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 8 of 18

Condition Criteria: 14 of 18

Funding Criteria: 7 of 18

Treatment Type: *Restoration and Reconstruction*

Treatment Era: *Post 1958 - present*

The relocation of the Powwow grounds also includes the restoration of the track and field complex. The original football field was south of Building No. 20 until relocated South of Building No. 70 sometime after 1958 (based upon aerial photo review). The current powwow is very popular and outgrowing the location near Building No. 1. The restoration of the existing football field, track and bleachers would provide room for the powwow to grow and could offer a track/field facility for community use. The baseball field would be located on the original football field site south of Building No. 20.



Floral Demonstration Area (Building No. 1, No. 2 and No. 3):

Refer to Plate No. 22 and No. 23 of the accompanying plans and Plate No. 27 through 29 for Tree Management Program.

Project Prioritization: 8 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 4 of 18

Condition Criteria: 4 of 18

Funding Criteria: 9 of 18

Treatment Type: *Reconstruction*

Treatment Era: *1919 – mid 1930's*

Floral displays were a very prominent and visually striking part of the campus setting during the 1919 – mid 1930's Snyder Era. These floral displays are captured in many of the historic campus photographs. The display areas would be limited to highly visible areas, and in conjunction with a well rounded campus interpretation program. The demonstration areas would include reconstructed wood trellis work, ornamental flowers and shrubs, tree plantings, concrete pavement, lawn restoration and irrigation system.



Site Lighting (Campus wide):

Refer to Plate No. 24 through 26 of the accompanying plans.

Project Prioritization: 9 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 16 of 18

Condition Criteria: 15 of 18

Funding Criteria: 15 of 18

Treatment Type: *New Feature*

Treatment Era: *Undetermined*

Turn of the century street lighting would provide safety to current campus users.



Tree Management Program (campus wide):

Refer to Plate No. 27 through 29 of the accompanying plans for species types and Plate No. 46 for Tree Management Program.

Project Prioritization: 10 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 6 of 18

Condition Criteria: 12 of 18

Funding Criteria: 10 of 18

Treatment Type: *Restoration and Reconstruction*

Treatment Era: *1919 – mid 1930’s and mid 1930’s to 1956*

Street trees and campus wide trees represent a defining feature for the campus. The existing trees are in various states of condition, not to mention the many trees that have died. The tree management program addresses use of both historic tree species and modern varieties that withstand known diseases and pests.



Site Signage: Directional and Interpretive

Refer to Plate No. 30 of the accompanying plans for signage.

Project Prioritization: 11 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 17 of 18

Condition Criteria: 8 of 18

Funding Criteria: 16 of 18

Treatment Type: *New Feature*

Treatment Era: *Undetermined*

Site signage should include directional and interpretive information as appropriate.



Original Auditorium Site (Building No. 90):

Refer to Plate No. 31 and No. 32 of the accompanying plans.

Project Prioritization: 12 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 1 of 18

Condition Criteria: 1 of 18

Funding Criteria: 4 of 18

Treatment Type: *Reconstruction*

Treatment Era: *1919 – mid 1930's*

Performances and presentations in the Auditorium were important activities for Stewart students and faculty. The auditorium is in a severe state of deterioration and consequently so are the grounds. The grounds reconstruction would include relocation of the Jacobsen Way driveway, tree and shrub plantings, trellis reconstruction, concrete sidewalks, lawn restoration and irrigation system.



Original Gymnasium Site (Building No. 20):

Refer to Plate No. 33 of the accompanying plans.

Project Prioritization: 13 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 5 of 18

Condition Criteria: 5 of 18

Funding Criteria: 8 of 18

Treatment Type: *Reconstruction*

Treatment Era: *mid 1930-s - 1956*

Sporting activities played a prominent social and intramural source of activity for the Stewart Indian School students and faculty. The gymnasium is in a severe state of deterioration, consequently so are the grounds. The grounds reconstruction would include tree and shrub plantings, concrete sidewalks, lawn reconstruction and irrigation system.



Original Commissary Site (Building No. 48):

Refer to Plate No. 34 of the accompanying plans.

Project Prioritization: 14 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 10 of 18

Condition Criteria: 7 of 18

Funding Criteria: 6 of 18

Treatment Type: *Reconstruction*

Treatment Era: *1919 – mid 1930's*

Built in 1920, this is the oldest surviving wood frame building on the Stewart Facility campus and deserves grounds restoration in conjunction with building rehabilitation. The grounds reconstruction would include tree and shrub plantings, concrete sidewalks, lawn reconstruction and irrigation system.



Power Lines and Poles:

Refer to Plate No. 35 of the accompanying plans for illustration of the overhead power lines on the campus.

Project Prioritization: 15 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 15 of 18

Condition Criteria: 13 of 18

Funding Criteria: 11 of 18

Treatment Type: *Undetermined*

Treatment Era: *Undetermined*

The State of Nevada is currently engaged in a program to place the overhead power lines on the Stewart Facility campus underground.



Residential Streetscape (Building No. 27 through 34):

Refer to Plate No. 36 of the accompanying plans and Plate No. 27 through 29 for Tree Management Program.

Project Prioritization: 16 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 13 of 18

Condition Criteria: 17 of 18

Funding Criteria: 13 of 18

Treatment Type: *Restoration*

Treatment Era: *1937 – Present*

The curved roadways within the residential area have a “suburban” character and are distinctively different from the grid layout at the main Stewart Facility campus. The streetscape restoration would include tree plantings, shrub plantings, concrete sidewalks, lawn restoration and irrigation system.



Model Residential Site (Building No. 28):

Refer to Plate No. 37 of the accompanying plans and Plate No. 27 through 29 for Tree Management Program.

Project Prioritization: 17 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 14 of 18

Condition Criteria: 16 of 18

Funding Criteria: 14 of 18

Treatment Type: *Restoration*

Treatment Era: *1937 – Present*

This work would include such restoration activity as pavement replacement landscape maintenance, new plantings and turf restoration.



Reintroduce Tennis Court(s):

Refer to Plate No. 38 of the accompanying plans.

Project Prioritization: 18 of 18

Project Evaluation Matrix Rankings

Historic Criteria: 18 of 18

Condition Criteria: 18 of 18

Funding Criteria: 17 of 18

Treatment Type: *Reconstruction*

Treatment Era: 1919 – mid 1930's

The aerial photos and literature search are inconclusive as to the actual material used for the tennis courts, although clay or dirt is a high probability. Reconstruction of the courts should be a modern sports surface over asphalt for maintenance and durability reasons.



Bibliography

1. Associated Press, Drive launched to reopen Stewart Indian School museum in Nevada, Las Vegas Sun, November 19, 2006, <http://www.lasvegassun.com>
2. Bauman, Sam, Reflection on our past to preserve our future, Annual Edition Carson Discoveries, 2003
3. Behr, Will, STEWART INDIAN SCHOOL...a century to remember, Carson City NEVADA APPEAL, July 19, 1992
4. Birnbaum, Charles A., ASLA, Protecting Cultural Landscapes Planning, Treatment and Management of Historic Landscapes, Preservation Briefs, National Parks Service, Washington, D.C., 1994
5. Bureau of Indian Affairs, Central Classified File, 1907-1970, 558 Letters Sent and Received with Maps, National Archives & Records Administration
6. Bureau of Indian Affairs Record Group 75, Records of the Carson Indian Agency, Pacific Region, San Francisco, Archives, November, 1997
7. Bureau of Indian Affairs Record Group 75, Records of the Carson/Stewart School, Pacific Region, San Francisco, Archives, January, 2001
8. Bureau of Indian Affairs Record Group 75, Records of the Reno Agency, Pacific Region, San Francisco, Archives, April, 1996
9. City of Carson City, <http://www.carson-city.nv.us/Index.aspx?page=1>
10. City of Carson City, Nevada, Carson City: Unified Pathways Master Plan, 2/26/08, <http://www.carson-city.nv.us/Index.aspx?page=1270>
11. Ferguson, Bruce, K., Porous Pavements – Integrative Studies in Water Management and Land Development, CRC Press, 2005
12. Grant Application, Stewart Landscape Preservation Plan, State of Nevada Public Works Board, November 28, 2005
13. Melvyn Green and Associates, State of Nevada Stewart Facility Seismic Survey – Final Report, November 2004
14. Hammon, Amanda, Tribe: Stewart site sacred ground, Carson Country, November 19, 2001
15. Heritage Conservation and Recreation Service, The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, US Department of the Interior, January 1980 (rev.)
16. Margaret Archuleta, Brenda J. Child, K. Tsianina Lomawaima (edited by), (Phoenix: The Heard Museum, 2000 reviewed by C.L. Higham, Away from Home: American Indian Boarding School Experiences, <http://dmla.clan.lib.nv.us/docs/museums/reno/quarterly.htm>
17. Mobley, Beverly and Michael Holbrook, Stewart Indian School, Nevada State Museum, Department of Cultural Affairs, Division of Museums and History – Exhibits, <http://dmla.clan.lib.nv.us/docs/museums/cc/Exhibits/stewart/index.htm>

18. National Park Service, The Secretary of the Interior's Standards – Standards and Guidelines, http://nps.gov/history/hps/tps/standards_guidelines.htm
19. National Park Service, Three Historic Nevada Cities: Carson City, Reno and Virginia City—A National Register, <http://www.nps.gov/history/nr/travel/nevada/>
20. National Park Service, Treatments for Cultural Landscapes; Preservation, Rehabilitation, Restoration and Reconstruction, Preservation Briefs 36, 11/3/2005.
<http://www.cr.nps.gov/hps/tps/briefs/brief36.htm>
21. National Register of Historical Places, NEVADA (NV), Carson City County, <http://www.nationalregisterofhistoricplaces.com/NV/Carson+City/state.html>
22. Nevada Division of Forestry, Nevada Urban and Community Forestry Grant – 2001
23. Nevada State Public Works, Buildings Listed by Site, November 17, 2006
24. Nevada State Public Works, Facility Condition Needs Index Report, November 17, 2006
25. Osterberg, Deborah, The U.S. National Archives and Records Administration, Photos acquired from Pacific Regional Office, San Bruno, California, <http://www.archives.gov/research/arc/>
26. Roberts, Jack, Historical Landscaping at Mount Vernon, Total Landscape Care, October, 2007
27. Seavey, Kent L., A Completion Report on the Historic Resources Inventory and Adaptive use Recommendations for The Stewart Indian School, Carson City, NE, Inter-Tribal Council of Nevada, May 31, 1982
28. State of Nevada/Administration, Stewart Campus Site, Building Report, September 6, 2006
29. State of Nevada/Administration, Stewart Irrigation Diversion Bldg, Building Report, March 11, 2005
30. Stewart Indian School Brochure, A Story of the People's Enduring Strength and Spirit, Publisher and date not noted
31. Weeks, Kay D. and Anne G. Grimmer, The Secretary of the Interior's Standards for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, US Department of the Interior, National Park Service, Cultural Resource Stewardship and Partnerships, Heritage Preservation Services, Washing, D.C. 1995

Appendix I: Meeting Notes



October 29th and 30th, 2007 - Site Visit /Meeting Notes:

Prepared by Arlette Wiege

Monday, October 29th:

1. Met with Molly Sinnott and began documenting Molly's individual tree analysis on the site.
2. Meeting held at Indian Commission Board Room with the following present:

Ward Patrick
Jenny Scanland
Sherry Rupert
John Christopherson
Larry Hale
Marty Phillips
Patrick McInnis
Susan Stead

- Ward stated that the purpose of the meeting was to set specific dates regarding the milestones in the Phase II project allowing the Historic Committee's input.

Items discussed:

- Arlette will send Ward the survey which distinguishes pavement types and locations. There is a state wide paving assessment being conducted by the State of Nevada. Plans are being documented for new paving at the Stewart Facility, particularly building No. 17.
- New roofing that was being installed was accomplished by the Facility Conditions Analysis provided by the State. Ward will forward those documents to Wyss Associates, Inc.
- The water tank on-site will be upgraded.
- The committee is hopeful that the outcome of these documents will prioritize projects. Also, that Wyss Associates, Inc. will flag projects that can be quickly accomplished with the most cultural impact.
- The committee plans on hosting interpretive walking tours with communications equipment (phones), and signage.
- In five to six months, the group expects to see a landscape plan. Between 1999 and 2000, a tree evaluation was documented by John Christopherson. Susan Stead or John may be able to track it down. If they find the plan, it will be forwarded on to Wyss Associates, Inc.
- Sherry Rupert, Executive Director of the Nevada Indian Commission, mentioned that one grant that has been submitted regarding the Cultural Center is with the Bricks and Mortar grant program (*which awards challenge grants for capital projects, most often for construction or renovation of buildings, but also for the purchase of major equipment and real estate*).
- Comments on Phase II Outline will be reviewed by Sherry and returned to Wyss.
- Release to publish interviewees' basic form was given to Arlette. Addresses of interviewees' will be forwarded to Wyss.
- Proposed contract schedule changes worked with everyone.
- Our first video conference will be held on Thursday, November 20th at 2pm. Followed by a video conference every third Tuesday of the month at 2pm.

- Larry Hale mentioned that he would like to see gates, new paving and signage at Stewart's entrance. Sherry Rupert gave Wyss a copy of historic entrance photo, and has since emailed a digital copy also.
 - General input by members:
 - a) Walkways: i.e.; how many feet of new walk is needed.
 - b) Pedestrian Plan needed.
 - c) Driving Circulation Plan needed.
 - d) Broad List of Recommendations for Grant Applications.
 - e) Menu of ways to improve the facilities.
 - f) More planning and less design.
 - g) Wyss has stated that we would supply implementation strategies such as several grant options.
 - h) The overall phased report structures should be:
 - i) 'Conditions at this point in time'.
 - j) 'Existing Maintenance Practices'.
 - k) 'Future' List of needs – Estimated Quantities – Estimated Dollar Amounts.
3. Team Site Walk-thru comments:
- Larry Hale spoke of his entrance ideas and how it could be constructed by the existing maintenance crew. A comment was made by others that 'We must keep entrance historically correct'.
 - Wyss could document ideas in report from team:
 - a) 'Pathways are essential'.
 - b) 'Path to the original Gymnasium, which was the "heart" of the campus'.
 - c) 'Path to outdoor track'.
 - Church at entrance and the one across Snyder Road aren't State of Nevada properties.
 - Team would like to see more trees i.e.; Maple, Pin Oak, Flowering Plums.
 - Susan Stead mentioned a few trees that are prohibitive to Carson City: '*Siberian elm*', '*Tamarisk*', '*Columnar poplar*', '*Lombardy poplar*' and '*White poplar*'. Trees not to overplant: '*Silver Maple*' and '*Emerald Ash*'. Note that '*White paper birch*' probably won't be available for purchase in the next year.
 - Overall desire of team to have a **'Different Eras in Locations' - tree types and plans**.
 - The courtyard south of the proposed Cultural Center is the location currently used as a Powwow ground annually in June. Sherry mentioned shade trees are desired in the northwest and southwest areas to help block the hot afternoon sun.
4. Meeting with Ward Patrick and Arlette Wiege:
- We addressed Phase II Outline comments.
 - Add to Outline:
 - ✓ Opportunities for Landscape Interpretation.
 - ✓ Tree Management Program...Pruning/Planting/New Construction Protection detail, Compile specifications for future plantings, possibly under 'Develop Design Standards'.
 - ✓ Include Aerial Analysis in report: Wyss could overlay images of existing utilities onto current aerial. Ward believes this would be helpful.
 - ✓ Period Plans – Utilize to date as part of analysis.
 - ✓ Ward would like the documents that he previously researched to be included in the Phase II Report.
 - ✓ Include Estimates (Opinion of Costs).
 - Ward discussed his concern with evaluating existing conditions during the Phase II portion of the report. He believes enough, or possibly too much time has been focused on what is currently on the site and that those items were addressed in Phase I. Instead, he'd like to see possibilities and plans for the future, along with Wyss Associates, Inc.
 - Ward spoke of his site on public works website for Wyss to review:
http://spwb.state.nv.us/Steware_Landscape_Project/Stewart_Landscape_Project.htm

- Specifically the “Preservation Brief” under the Landscape Preservation Plan:
http://spwb.state.nv.us/Stewart_Landscape_Project/05_05-S04G_Guidlines_Landscape_Preservation_Briefs.PDF
 - Conditions Survey Analysis will be forwarded and has since been received by Ward.
 - Coordinate with State of Nevada before any ‘Roadways and Drives’ recommendations.
5. Site Study Monday, October 29th and Tuesday, October 30th :
- Completed vegetation, sidewalk and site amenities analysis and documentation for future priority recommendations along with Molly Sinnott.

End of Minutes

Appendix II: Meeting Notes

November 20th, 2007 Telephone Conference Meeting Notes:

Introductions of those present:

Ward Patrick
Sherry Rupert
Judy Price
Jenny Scanland
Steve Weaver
Rebecca Ossa
Patrick Wyss
Arlette Wiege

Telephone Conference Agenda Items:

- 1) Telephone conference agenda items will be prepared and distributed by Wyss prior to conference calls in the future
- 2) Brief re-cap
- 3) Address items that were discussed in previous meeting
- 4) Paving Assessment
- 5) Phase III Grant Application

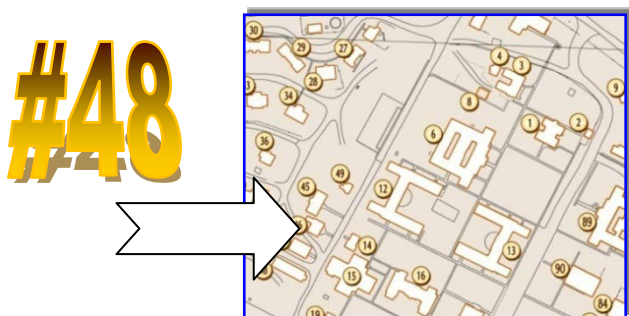
Updates, Review Comments and Telephone Conference Discussion Items:

- 1) State of Nevada is currently working on pavement management plans.
- 2) The ideas of committee members mentioned during previous meeting need to be implemented in report.
- 3) Phase II Report is a draft of final preservation plan; Phase III Report is the final draft.

Comments Concerning Site, Landscape and Stewart Phase II Report:

- 1) Facility entry and corridor should be a preservation/restoration focus
- 2) Powwow grounds: the existing event location at the courtyard east of building no. 6 is somewhat limited in area for the large annual event.
 - Sherry will look at some positive and negative aspects of re-locating the area somewhere else on-site.
 - Steve suggested the football field since the existing grade is accommodating.
 - Parking issues would need to be addressed. If a different area could be located, the football field could be used for parking.
- 3) Future lighting opportunities were discussed.
- 4) Cultural Center Self Guided Interpretive Tour:
 - The Reno-Sparks Convention & Visitors Authority (RSCVA) is very interested in the intentions of this project. A meeting will be held December 7th, 2007.
 - Pat asked Sherry to inform us on meeting discussions or any transpired outcomes.
 - Signage – State Historic Preservation Office (SHPO)
- 5) Wyss will furnish a list of intended projects including criteria for each possible project i.e.,
 - Demonstration area: focused area with floral displays;
 - Reconstruction of tennis court: re-locate to existing basketball court location;
 - Re-location of Powwow grounds: re-locate on-site to accommodate increasingly large groups;
 - Focus on one particular building: refer to State of Nevada/Administration Facility Condition Analysis report;
 - Construct a ‘model’ site in the residential area;

- Facility of campus occupied referring back to ‘Vacant buildings lead to vacant landscapes’.
- 6) The committee stated the facility should focus on newly planted trees forming a gateway into the Stewart Facility, cohesive signage, historic lighting, paths, all site elements and vehicle / pedestrian circulation paths.
- Focused items will be categories in a Design Standards Document. Keeping in mind that every design standard has a maintenance component as opposed to quick fixes.
- Part of maintenance program is to look at
 - An annual tree planting program
 - Repair guidelines for masonry and concrete
 - Maintaining and planting procedures of horticultural trees and under plantings
 - Turf maintenance
 - Any items built has levels of maintenance
- This document will refer to appropriate codes for when the need arises. This way the facility can be re-active to maintenance occurrences whether it be annual, semi-annual or time specific.
- Hardscape and landscape items to be prioritized with parts that pertain to each specific area.
- Most are design issues to rate according to action needed in regards to site visibility.
- Prioritize which project will reflect most impact.
- 7) Historically appropriate ADA accessibility will be addressed lightly by listing required measurements and compliance in the Design Standards Document, during later phases.
- 8) Projects could be addressed Era by Era, Section by Section for example: Building No. 48 is a wooden structure and vintage of the era.
 - Building Era: 1890-1930
 - Possible Demonstration Location
 - Resources available to complete this and other intended projects could be obtained from Nevada State Prison laborers, grants filed in-house, various garden clubs, neighboring groups, possibly a sports group addressing the walks around the abandoned gymnasium, generally multiple funding resources on the same contract are possible.



Comments Concerning Site, Landscape and Stewart Phase II Report continued:



Pavement Assessment, Committee Requests and General Information:

- 1) Phase III Grant Application is due December 3, 2007
 - Scope is exactly the same as three years ago with an updated date
- 2) An RFP has been released statewide to obtain a paving assessment.
- 3) The Committee reconfirmed that prioritizations are viewed as 'Fantastic projects because they are the essence of the past'.
- 4) Matrix will be compiled to list potential projects, prioritizing specific criteria and the historical benefits of each project.
- 5) The Committee expects a Landscape Plan within 5-6 months.
- 6) Comprehensive list of grants on local, state, regional and national levels will be obtained by Wyss Associates.
- 7) Discussion was made regarding examples of projects included in report
 - Report sized drawings of current powwow grounds with a list of two to three alternative locations
 - Report sized drawings with an index page of blocks followed on drawing to expand campus ideas

End of Meeting Notes

Prepared by Arlette Wiege

**The next scheduled telephone conference will be held at 2pm P.T. / 3pm M.T. on
December 18th, 2007**

cc:

Cindy Edwards
Larry Hale
Marty Phillips
Pat McInnis
Ward Patrick

Jenny Scanland
John Christopherson
Judy Price
Rich Harvey
Steve Weaver

Susan Stead
Rebecca Ossa
Sherry Rupert
Sandra Wendel
Patrick Wyss
File

Appendix III: Meeting Notes

December 18th, 2007 Telephone Conference Meeting Notes:

Introductions of those present:

Rebecca Ossa	Sherry Rupert
Judy Price	Patrick Wyss
Pat McInnis	Arlette Wiede
Ward Patrick	

Telephone Conference Agenda Items:

1. Introductions of those present
2. Review of Project List (Matrix)
3. Review of Criteria (Matrix)
4. Discuss status of Existing Road Conditions Analysis
5. Old Business
6. New Business
7. Adjourn Telephone Conference
 - 1) It was decided that the existing road conditions analysis will be the responsibility of Wyss Associates. The conditions will be evaluated visually and documented.

Review of Project List (Matrix):

- 1) Ward reiterated the magnitude of the consultant's expertise and responsibility to enlighten the committee with 'Grand Ideas' throughout this process.
- 2) Each project row on the matrix will now be identified with numeric characters for reference.
- 3) Ward Patrick asked if there will be an overall rating for each project, historic criteria and funding criteria. Pat Wyss pointed out that these items will most likely be viewed separately.
- 4) Pat McInnis questioned if projects can be broken down into phases on the particularly high cost projects. Pat Wyss confirmed that can be and that this will be laid out on a case by case basis.
- 5) Locations of each project will be shown visually in plan on maps.
 - a. One overall map locating each project
 - b. Individual maps i.e.; 'Entry Corridor' showing proposed recommendations.
- 6) Pat Wyss discussed the historical significance of power poles and lines. Pat McInnis stated a project was underway to move electric utilities underground. 'Power Lines and Poles' will be added to project list to allow some poles to remain in their current setting.
- 7) It was confirmed that Bldg. No. 48 (Original Commissary) was on the project list.
- 8) 'Gymnasium' and 'Theater' will be added to project list. Architectural rehabilitation concurrent with landscape rehabilitation will be these projects objectives. Rebecca Ossa mentioned the architectural intricacy of these two structures. If these projects were considered a priority this would validate further the value of these landscapes.

Future reference of these buildings will be as follows:

 - 'Original Commissary Site (Bldg. No. 48)'
 - 'Original Gymnasium Site (Bldg. No. 20)'
 - 'Original Auditorium Site (Bldg. No. 90)'

Review of Criteria (Matrix):

- 1) Referring to Historical Criteria, Condition Criteria and Funding Criteria:

- a. Each criteria column on the matrix will now be identified with alphanumeric characters allowing comparison of particular features, since not all projects have historical criteria to rate.
 - b. Ward Patrick asked if criteria will be rated by quantities. Pat Wyss replied by stating that each column does not have to be rated equally. The rating method is high, medium and low.
- 2) A definition section will be included referring to all criteria on the matrix.

Old Business:

- 1) An overlay of existing infrastructure and an aerial photo, along with site observation mapping is currently being compiled.
- 2) Items included in the 'Preliminary Outline of Phase II Report' will be Wyss Associates focus throughout the next two weeks.
- 3) An overall Master Preservation Plan will be drafted for committee's input at the next meeting. Pat Wyss will be present. Judy Price requested copies of maps prior to meeting. All items will be forwarded to all before actual meeting to allow some review time.
- 4) Tree Management Program will include a list of tree species types that are recommended and not recommended. Ward Patrick mentioned Sandra Wendel and her involvement with the Nevada State Capitol Complex.

New Business:

- 1) Sherry Rupert gave an up-date on the 'Guide by Cell Walking Tour'
 - Brochures, Signage, Voice talent – voice talents are needed. If anyone knows of anybody that could help, please contact Sherry Rupert.
 - Rebecca Ossa will help with signage guidelines.
- 2) Sherry Rupert will send Wyss Assoc. the Alumni release forms they were able to have signed.

End of Meeting Notes

Prepared by Arlette Wiede

We will replace the next scheduled January 15th telephone conference with a meeting in Carson City, with the time and place to be announced.

Documents and maps will be sent to members before hand of Pat's site visit.

cc

Cindy Edwards
Larry Hale
Marty Phillips
Pat McInnis
Ward Patrick

Jenny Scanland
John Christopherson
Judy Price
Rich Harvey
Steve Weaver

Susan Stead
Rebecca Ossa
Sherry Rupert
Sandra Wendel
Patrick Wyss
File

Included in email:

Meeting Notes

Outline of Phase II Report

Updated Project Matrix reflecting Extended Project List

Stewart Infrastructure Map along with Individual Utilities Plans

End of Minutes

Appendix IV: Meeting Notes

Date: February 14, 2008

Project: Stewart Indian School
Project No.: 06110.1

Present: Ward Patrick
Judy Price
Jason Crosby
Susan Stead
Rebecca Ossa
Patrick Wyss

Action Items:

1. Our Arborist should provide us some diagnostic information about the trees. For example, are some beyond saving?
2. Following Tree Management Program should also address:
 - a. Plantings adjacent to pavements
 - b. Protect existing trees during construction
3. Wyss should contact Roger Mollendorf, Carson City Parks and Recreation Director for a copy of their Trail Plan, which includes a segment to the Stewart site.
4. Wyss should prepare a Context Plan showing how the property ties into a regional trail, land bank on the northwest part of the site. NHP Training Center across Snyder, etc.
5. Public Works will investigate the potential of using Highway Enhancement funds at Stewart, in association with the Highway 50 reconstruction.
6. Public Works will obtain copies of the proposed parking and forward a copy to Wyss for review.
7. Public Works will investigate the potential of installing conduits for future lighting in the trenches used for burying the overhead power lines.
8. Consider closing the driveway adjacent to the Auditorium, access would be provided on the adjacent driveway.
9. Wyss should proceed with the concept of restoring the current track and field site, with the original field used for ball fields.
10. Communication lines should be included in the infrastructure mapping.
11. Wyss should include boundary lines of State of Nevada property on the maps.
12. Concrete poles with "acorn" type fixture could be appropriate lighting for the campus.
13. Wyss should include examples of appropriate outdoor furnishings for Stewart, such as benches, tables, trash receptacles and bollards.
14. Would it be possible to show the known location of demolished buildings on the plan, in dashed lines? These could also be identified with concrete edging on the site (as we are considering the pool).
15. Alternative off street parking should be presented in lieu of the 90° and an alternative location for the Nevada Department of Corrections Administration Building. (Building No. 17).
16. Low-impact, "green" solutions should be considered, such as:
 - a. Consider the use of pervious concrete/paving for vehicle parking.
 - b. Water/irrigation efficiency standards.
 - c. Use of recycled water.

- d. Consider the use of structural soils under pavement to provide air exchange and rooting space for tree roots.
17. Wyss should illustrate the arched gateway concept discussed with Larry Hale.
18. The alumni memorial sculptures could be displayed in a sculpture garden at Building No. 1, and include a boy holding a shovel, a girl doing pottery, etc. i.e.; memorialize the trades learned in the school.
19. Wyss should consider alternative color schemes for the plans.
20. Wyss will send the Project Matrix in 'Excel' format to the committee members, and members have the option of filling in the form manually and faxing back to Wyss, or fill it out electronically and email it back, according to the following schedule:
 - a. Wyss plans to email the Project Matrix to Committee Members before Feb 29th, 2008.
 - b. Committee Members will have two weeks to complete and return the Project Matrix to Wyss Associates, Inc.
 - c. Wyss will email the Committee Members their completed Project Matrix midway through the two-week period for Committee Members use, if they prefer.
 - d. Wyss will take one week to compile and distribute the results.
21. The future Interpretive Loop should be identified on one of the maps included in the report.
22. Wyss will contact Dr. Eric Abrahamson for a proposal to prepare a Historic Interpretive Plan for the campus.
23. Water Tower should be located on the plans.

Information Items:

1. A State Capitol Improvement funding for 3 million-dollars will go to roof repairs, above the roof plate line, at Stewart.
2. New 90 degree parking could negatively impact the Gateway Corridor, and pose potential safety problems with cars backing into the primary campus road.
3. Inmate labor could be considered for future grounds maintenance activities.
4. The 'S', 'C' and 'H' on the building listings stand for historically 'Significant', 'Contributing' and 'Not Known'. The National Trust Nomination document is on the Stewart website.
5. Discussions between Nevada Public Works and Carson City Parks and Recreation could yield beneficial community use of the Infirmary. A study was conducted to find agencies to move the Stewart Facility, yielding no good fit.
6. The campus could be displayed in districts, such as:
 - a. Center Core Area
 - b. "U" shaped area around the Core
 - c. Agricultural Area
 - d. Athletic Area, anchored by the Original Gymnasium
 - e. Residential Area
7. Subsequent to the meeting, Wyss prepared the following Project Matrix valuation method. Rate with either '1', '2' or '3' as follows:

A. HISTORIC CATEGORY

- '1' – Generally important Historically (Minor Contribution)
- '2' – Definitely Important Historically (Contribution)
- '3' – Highly important Historically (Significant)

B. CONDITION CATEGORY

‘1’ – Poor Condition: Either totally lost or at very high risk of losing.

‘2’ – Fair Condition: Some deterioration is evident, could be stabilized with intervention.

‘3’ – Good Condition: Routine maintenance will sustain the feature.

C. FUNDING CATEGORY

‘1’ – Funding is possible, but very challenging

‘2’ – Funding source may not be specifically identified, but is realistic to consider.

‘3’ – One or more funding sources are highly probable and/or already identified.

End of Minutes

Appendix V: Meeting Notes

Telephone Conference Date: March 18, 2008

Project: Stewart Indian School

Present: Ward Patrick
Pat McNnis
Sherry Rupert
Patrick Wyss
Arlette Wiege

Project No.: 06110.1

Action Items:

1. A 95% Submittal Package will be mailed out March 28th. Correction:
2. Discussion was made on the project matrix rating methodology. Ward commented that he'd like the matrix ratings to highlight particular projects that would be simple, inexpensive and historically significant. Correction: Ward said that the three criteria 1) Historic, 2) Condition and 3) Funding, should be awarded points based on the most points going to projects that will end up being a high priority project for the committee.
3. Pat Wyss replied that the matrix is only a reference to prioritize projects. Being a 'Step To', not a 'Final Step'.
4. A project prioritization will be sent to all committee members for their input.
5. It was decided to have a conference call next week. Optional dates will be forwarded to all.
6. A draft narrative will be included in this submittal.
7. Sherry asked that any proposed interpretive signage be coordinated with the Indian Commission, since plans are currently engaged to include signage with the 'Guide by Cell' Walking Tour and the Future Interpretive Loop.
8. We are still receiving committee comments to continue this effort.
9. Ward has discussed with Robbie Oxoby that we are interested in the process used to prioritize the building envelope improvements at Stewart and that Pat McNnis should be there to support him.
10. Ward forwarded the property boundary to Judy Price to confirm locations; the communication utility locations were sent to Jeff Osborn.

End of Minutes.

Appendix VI: Meeting Notes

Date: March 27, 2008

Project: Stewart Indian School

Present: Ward Patrick
Larry Hale
Marty Phillips
Pat McInnis
Rebecca Ossa
Sherry Rupert
Jason Crosby
Robbie Oxoby
Patrick Wyss
Sue Ashley
Arlette Wiege

Project No.: 06110.1

Action Items:

1. Robbie Oxoby and Pat McInnis spoke of the process of prioritizing buildings.
 - a. Beginning with a list that were identified by Buildings and Ground, they manipulated priorities by:
 - i. A's – Usable at the Time
 - ii. B's – Usable in the Future
 - iii. C's – Alternates
 - b. Buildings were prioritized to be retrofitted structurally, making the building structure sable in the case funds would become available in the future.
 - c. Phase I: Building No. 9, 16, 21, 22, 23, 24, 25, 46, 34 and 14.
 - d. Phase II: Building No. 12, 13, 84, 90, 3, 1, 45, 19 and 47.
 - e. There is optimism with the current bidding climate that construction will go forward.
 - f. Funds are still being requested for future renovations.
2. Discussion was made stating that Buildings No. 102 (School Infirmary), Building No. 48 (Original Commissary), and Building No. 20 (Original Gymnasium) are significant buildings. Since significant Landscapes would follow if occupied, funding should be sought for these structures also. This would show collaboration toward a common goal.
3. Discussion was made regarding parking lots.
 - a. Separation is being made between Hardscape and Landscape. Pat stated that this is being addressed in this report.
 - b. Sherry Rupert asked if additional parking could be addressed for the increased traffic of the Cultural Center. Pat suggested between Building No. 9 and 18.
 - c. Parking at Building No. 102 was discussed. Addressing off-street parking at strategic and convenient locations will be addressed in this report
 - d. Dedicated parking for Powwow relocation could coordinate with Building No. 17's renovation.
 - e. Parking off of east corner of Building No. 160 is possible.
 - f. Keeping the Green-Space in tact in the front of buildings is vital to the campus.
 - g. Previous building locations will be identified in this report.
4. Ward is interested in delineating the original building site somehow, possibly with concrete curbing. This area is located west of Building No. 60.
5. Project Prioritization was discussed.

	0-5 Year Completion Time
	5-10 Year Completion Time
	10+ Year Completion Time

1	Entry Gateway Corridor and Entrance Gate - 1938
2	School Infirmary Site (Bldg. No. 102) - 1904
3	Interpretive Loop/ Sidewalk Improvements
4	'Guide by Cell' Walking Tour and Interpretive Signage - Current Plan Engaged to Establish an Audio Campus Walking Tour
5	Original Central Campus Green-Space
6	Pool Area Interpretation (Delineate Boundaries and Interpretive Signage) - Memorial Honoring the Alumni - 1938 to Present
7	Relocation of Powwow - Track & Football Field Area - Baseball Field Area - Post 1958
8	Floral Demonstration Area - 1938 Cross-Section
9	Site Lighting - Typical Lamp Standard
10	Tree Replacement Program - 1938 and 1958
11	Site Signage: Directional and Interpretive - Various Eras
12	Original Auditorium Site (Bldg. No. 90) - 1938
13	Original Gymnasium Site (Bldg. No. 20) - 1938
14	Original Commissary Site (Bldg. No. 48) - 1938
15	Power Lines and Poles - Current Plan Engaged to Place Existing Overhead Power Underground
16	Residential Streetscape - 1938
17	Model Residential Restoration - 1938
18	Reintroduce Tennis Court(s) 1938 and 1958

- a. There will be a group of top '10' priorities, a middle '5', and the bottom '3'
- b. Ward discussed projects that could be finished in 1-5 years (which is reflected above).
- c. The Committee Members discussed the possibility of dispersing a questionnaire to different governmental agencies, non-profit groups to ask the potential office space use of the Auditorium.
6. Volume III report to address access, parking, and security issues.
7. Volume III report to also include specific project Opinion of Costs.
8. Ward commented that the Project Matrix could be more visual with symbols instead of all numbers.
 - a. The Project Priorities will be listed numerically
9. The Matrix, with compiled data, will be put in the appendix in 11x8 1/2" format.

End of Minutes

Appendix VII: Telephone Memo

Date: April 14, 2008

Telephone conversation between Ward Patrick and Arlette Wiege:

- Ward commented that he was pleased with the progress of the report.
- There will be an April 29th Nevada State Public Works Board meeting where Ward will be presenting a PowerPoint presentation of the Stewart Facility Cultural Landscape Report progress.
- Ward asked if Wyss Associates would furnish a PowerPoint Presentation with the following aspects:
 - 1) Introductory Sheet with Wyss Logo and a list of Committee Members
 - 2) Photos of what the Facility once was, showing the historical photos from National Archives and other sources, taking up approximately 3 minutes.
 - 3) Conclusion: Maps reflecting process and priorities taking up 6 minutes or so.
 - 4) Include a possible slide showing the four proposed projects of building improvements, with surrounding landscapes. Ward would like to put on record that these buildings are not currently being used, allowing discussion of priorities and concerns regarding this.
- Ward stated that due to this April 29th Board meeting, the comments due back from the Committee Members will have to be moved back. This date was originally set for April 25th, 2008.
- The State Public Works Board Presentation will be added to our agenda and discussed further in tomorrow's telephone conference

Appendix VIII Meeting Notes

Date: April 15, 2008

Project: Stewart Indian School

Present: Ward Patrick
Steve Weaver
Marty Phillips
Pat McInnis
Rebecca Ossa
Sherry Rupert
Jason Crosby
Patrick Wyss
Sue Ashley
Arlette Wiege

Project No.: 06110.1

Addition to Agenda -

Update on Grant Application

General Review comments on Report

1. Overall - the committee is pleased with report, with wonderful photographs
2. Person @ National Archives will be included in Bibliography
3. Project Scope - Treatment Plan and Public Outlay will follow in 3rd Volume
4. Finance condition of Nevada similar to other states in the Country - no confirmation on contingency plan
5. All Committee comments are welcome any time at your convenience - e-mail will be fine
6. Discussion regarding the name of the facility:
 - a. When referring to the facility - Stewart Facility
 - b. When using in context - Stewart Indian Facility
7. Change photo on page 19 - should be Infirmary
8. What is the correct building No. for Infirmary Building 102 or 162 (please see attachments) it appears it is No. 102
9. Committee members, forward comments to Ward, Ward will forward to Arlette

Nevada State Public Works Board Meeting

1. Ward needs a PowerPoint to present at the Board Meeting - heavy with pictures with bulleted items for discussion - e-mail or overnight early next week, save in 03 version

Update on Grant Application

1. Ron James SHPO Administrator meeting with Sherry and Rebecca to see who will actively pursue some projects

2. Possibility of going to the city for joint use of Auditorium with City of Carson City
3. America's Treasures Grant due May 20- focus on four buildings
 - a. Gym
 - b. Auditorium
 - c. Commissary
 - d. Infirmary
4. Track & Field - partnership with City Parks and Rec. Department
5. Meeting Thursday to keep fine tuning
6. Interpretive Walkway could be eligible for Congressional Allocation monies from The Safe-TU Grant
7. Updating the Commission
 - a. Middle of Phase III
 - b. As a courtesy Rebecca will provide an update as needed
8. Pat is hopeful that this step is comprehensive in this report to build momentum

Sherry commented that our plan shows the interpretive paved area slightly different than their proposed path which will be along sidewalks allowing ADA Compliance. We would like to be in direct alignment with guide by cell so Arlette will call Sherry to coordinate efforts

Phase II final report due within 1 week of teleconference

1. Continue with same report format with the exception of folded plans in an 8 ½"x11"- 3 ring binder to Ward and Rebecca, for filing purposes.

Next teleconference will be May 20, 2008 - 2:00pm PDT, 3:00pm MDT

End of Meeting Not

Appendix IX Meeting Notes

May 20th, 2008

Telephone Conference Meeting Notes:

Introductions of those present:

Ward Patrick	Sherry Rupert
Rebecca Ossa	Patrick Wyss
Pat McInnis	Arlette Wiege

Discussions:

- 1) Ward mentioned the grant applications were finished for the four buildings.
- 2) Pat discussed the items Wyss Associates, Inc. will be furnishing for the Stewart Powwow Grounds grant request:
 - Powwow Site Plan
 - City and Recreation Site Plan
 - Photoshop Image
 - List of Eco-Friendly Features
 - Opinion of CostsHistoric Renovation of Field Area in an Eco-Friendly Manner:
 1. Porous Paving for the Parking Lot
 2. Use of Irrigated Field for Overflow Parking
 3. Direct Link to Regional Trail System and Use of Secure Bicycle Parking
 4. Shade Trees for Carbon Collection (also Reminiscent of Historic Campus)
 5. Dispersed Storm Water Detention
 6. 'Protect the Night Sky' Lighting
 7. Use of Portable Bleachers to Maximize Product Use in Multiple Locations
 8. Use of Low Water Turf Species
 9. Use of Recycled Water for Irrigation
 10. Weather Controls to Monitor Irrigation Water Usage
 11. Reclaims Historic Recreation Area instead of developing some other Undisturbed Site
 12. Accommodates Mass Transportation
 13. Recycles Unoccupied Structure (Building 70) for Restrooms instead of New Construction
 14. Formally Abandoning Three- 12" Existing Wells at the Site
 15. Cinder Track for Porous Track Surface
 - a) End of the day Thursday the 22nd submittal will work for all.
 - b) Indian Commission website photos will also be included in Volume II report with the permission of Sherry Rupert.
- 3) Rebecca Ossa stated that an April meeting concluded a \$15,000.00 received funding for Public Works. Awards will be made in a month.
- 4) Discussion of contract being submitted to Board of Examiners between Wyss Associates, Inc. and Nevada Public Works.

- 5) Phase III Start-Up Meeting. Pat will work up a schedule and game plan.
- 6) Public Outlay will be 2-3 consecutive days of public open houses. These are not required, only a gesture of public relations. Third Phase is likely to issue some addendums if new information is required subsequent the public's input. Any new information will be incorporated.
- 7) Ward explained Capitol Improvements, Management, Agency and Governor Review processes and possible recommendations. Pat and Ward discussed that overlaying a site visit during any of these proceedings would not work since Ward orchestrates all projects brought forth.
- 8) The first draft of the Stewart Powwow Grant Plans will be sent to Ward Thursday, and then uploaded to <http://www.wyssassociates.com/stewart/> in the next week.
- 9) The final Volume II Report of the Landscape Preservation Plan will be printed and distributed March 27th or 28th.

End of Meeting Notes

Prepared by Arlette Wiege

Appendix X Meeting Notes

June 10, 2009 Telephone Conference Meeting Notes:

Introductions of those present:

Ron Crook Patrick Wyss

Rebecca Ossa Arlette Wiege

Discussions:

1. Phase III to finalize the Cultural Landscape Report along with estimated cost projections of each project and presenting public outlay meetings.
2. Ron asked if CLR's are normally one package. We've broken this up into three phases. This last phase will include public comment and update the report, as needed.
3. Volume I was issued on July 31st, 2007 as a spiral bound 8 ½" x 11".
4. Volume II was issued on May 30th, 2008 in 11"x17" format along with the original Volume I report.
5. Ron would like Pat to bring copies of Volume I and II.
6. Grant application 2007 was received by Rebecca.
7. Phase III specifically includes:
 - a. Finalize CLR
 - b. Develop a PowerPoint presentation for use during public outlay process
 - c. Trips; one for coordination and the other being public outlay meetings
 - d. Provide bound copies as requested
8. Ron asked what work will be done between now and Pat's initial site visit. Pat responded Wyss will start schematic site plans along with a 'before' photo with an 'after' sketch. Pat continued to say after the site visit, sketches / plans will be updated, cost estimates; send Committee Members updated report. Then the Committee and Public Works could review updated draft. With an O.K. on content, we would finalize PowerPoint. The next step would be to schedule Public Meetings.
9. Pat asked if the telephone conference calls may be replaced with 'Go To' meetings. That way we could share presentation materials on each member's own computer.
10. Public Review / Public Meeting dates: July 19th will work for Rebecca, tentative for Ron. Site information is needed for moving forward with our work.
11. Next visit would be determined, content process will need to be discussed. Possible presentation combined with workshop. This way the Stakeholder's can be engaged in the process. When Stakeholder's are determined we can design that process to meet everyone's needs. This can be discussed / designed in more detail when we visit next week.

12. Pat noted that with Stakeholders, interested parties and potential investors a dialog is more important than information and that both formats should be held according to types of groups that will engage in the process differently.
13. The outcome of the priority of projects was:
 - a. Ten with a 0-5 year completion time
 - b. Five with a 5-10 year completion time
 - c. Three with a 10 year + completion time
14. Rebecca sent historical photos to be included in Volume III:



a.



b.

15. Additional historical photos researched by Wyss Associates to be included in Volume III:

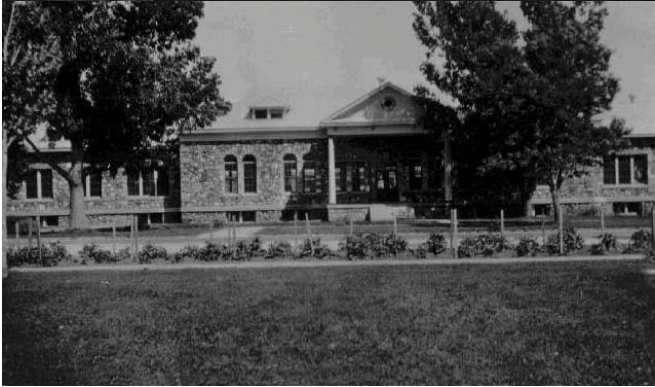


a.

b.



c.



d.



e.





f.

16. Overall timeframes and funding was discussed. Rebecca said the termination date was July 31st, 2009. It would be prudent to choose August 31st, 2009 due to Public Meeting process.
17. Ron mentioned the use of Lombardy Poplars which was popular on the historic site. Cultivars could be found with similar characteristics. The Nevada State Tree Selection will be followed. Pat concluded that there was a lesson learned from the Dutch elm disease on campus situations in the past. Solutions have been not to overplant with one species due to devastating outcomes from overplanting of one particular species.
18. Question was asked regarding the eighteen priority projects and if any of them had landscape priorities.
 - a. Entry Gateway Corridor
 - b. Central Core Green Space
 - c. Tree Replacement Program
 - d. Streetscape Replanting, which was a lower priority
19. Pat will pull together timeframes with proposed / tentative dates and project timelines.
20. Current status of Committee Members was questioned. Arlette emailed Ron past member's contact information.
21. State Public Works Boardroom is likely location for Friday, June 19th, 2009 meeting. Timeframe blocked out from 11am to 1pm.
22. Pat brought up past conversations with Ward Patrick and Roger Moellendorf, Parks and Recreation Director of City of Carson City, regarding a possible opportunity to share the relocated Powwow Grounds and athletic files of City of Carson City's. Discussion on the intent to preserve, restore and utilize any portion of the facility is the intended outcome. There's a possibility that other State Agencies would find compatible uses on the site.

End of Meeting Notes

Prepared by Arlette Wiege

cc:

- | | | |
|----------------|---------------------|---------------|
| Cindy Edwards | Jenny Scanland | Susan Stead |
| Larry Hale | John Christopherson | Rebecca Ossa |
| Marty Phillips | Judy Price | Sherry Rupert |
| Pat McInnis | Rich Harvey | Sandra Wendel |
| Ward Patrick | Steve Weaver | Patrick Wyss |
| | | File |

Included in email: Meeting Notes

Appendix XI

July 27, 2009 'GoTo' Meeting Notes:

Introductions of those present:

Steve Weaver	Jim Lawrence	Ron Crook	Patrick Wyss
Susan Stead	Rebecca Ossa	Sandra Wendel	Arlette Wiege

Discussions:

1. Pat asked if there were Agenda questions from anyone.
2. Agenda Review
3. Preliminary Cultural Landscape Report slideshow was shown.
 - a. Credits- Committee Members please review.
4. Overview Phase I, II, III is outlined in the slideshow.
 - a. Sherry was previously asked if we could use photos taken throughout the Father's Day Powwow Event.
 - b. Extensive catalog of all photos has been used as much as possible.
 - c. Each slide has bullet points that highlight issues along with photos that go along with each.
5. The Project Priority order shown was a previously determined consensus.
6. Powwow Grounds Relocation Project was discussed according to updated plan.
7. Series of three images (Historical, Current and Future Simulation) were shown with the floral demonstration area after treatment plan implementation.
8. Phase III – Public Outlay will be inserted into PowerPoint presentation. Any reactions or suggestions – group will be allowed to view for comment.
9. Questions and Comments:
 - a. Along with the vertical site elements Ron suggested that we present a tree restoration plan in a phased strategy over about 15 years.
 - i. Landscaping priority approach: 5 years – 10 years and out.
 - ii. Correlate back to graphics showing new trees etc.
 - b. Susan and Rebecca both gave positive feedback on progress.
 - c. Sandra thought we should include a location reference plan for each project presented.
 - d. There is a question as to whether the Stewart Sign should remain.
 - i. We should revisit the design of the entry pillars.

- e. A CD or DVD will be included with the report.
- f. We should include maps with photos in the PowerPoint where appropriate.
- 10. Other image series will be used; any other Committee Members thoughts are welcome to be included in report.
- 11. Ron asked for dates – which will be discussed here shortly in this meeting.
- 12. Presentation Boards:
 - a. Preliminary Boards were shown and discussed. These will be on easels so the Public has something to walk around and view.
 - b. Collection of six or so striking images will be on one board
- 13. Cost projections will be available for committee review before any public meetings.
- 14. Schedules – August Calendar.
 - a. 2nd week in August was previously determined. (Pat rearranged)
 - b. May we open up discussion to each of you?
 - c. The 10th on... Jennifer Pruitt – special meetings can be scheduled by Jennifer.
 - i. Jennifer will be contacted today.
 - d. Steve – After August 14th.
 - e. Susan's open.
 - f. Ron has steady meetings Wed – Mornings.
 - i. Stay away from Monday's.
 - g. Pat explained the potential time involved. (One evening presentation and 1 full day open house)
 - h. Open House is for all to observe and be informed and could allow for open discussion.
- 15. The tentative meeting dates are to hold an Evening Public Meeting on August 20th, and an 8:00am -2:00pm Open House Workshop on August 21st followed by a Committee Summary Review Meeting at 2:00pm. This schedule will have to be confirmed with Jennifer.**
 - a. Committee – evening presentation with significant contribution from all members.
- 16. Question Process:
 - a. Ron was asked if he was thinking about going to the Governor before or after public meetings.
 - i. Ron will verify to what degree they will be involved.
 - ii. Jim stated that the Stewart Facility is in one of the areas the utilization and needs of these lands that is determined by various state entities.
 - iii. Since the uses are being enhanced and not changed, Ron will determine how much involvement is necessary.
 - iv. Ron... Other than the Powwow Grounds the projects are not changing the use of areas.
- 17. Ron stated that within this report we're proposing the deconstruction of some of the hardscape and return to the original – rural feel.
 - a. Show this graphically – to show current tenants.
 - b. We will have a clearly laid out plan for this.
 - c. Note that this is a 'Relocation' of parking – not a 'Reduction' of parking.
- 18. Other Items Back to Entrance discussion since this is a priority project –
 - a. Heavy Timbers could possibly move people in.
 - b. Original Gateway – Stone Monuments.
 - c. Pedestrian width shown now (widen to roadway width).

- d. Historical vertical stone pieces near top of columns raised question of durability compared to capstone.
- 19. Go to meeting Comments / Feedback:
 - a. Rebecca saw great opportunity and suggests Federal Agencies should look into the use of this tool due to so many cutbacks and the potential to save site visits.
 - b. Steve Weaver – quite satisfied.
 - c. All around satisfied group.
- 20. Workshop Format and Evening Public meeting in conjunction with Historic Preservation Commission.
 - a. Wyss Associates will set up and copy all to make sure everyone is informed.

End of Meeting Notes

Prepared by Melissa Bennett, Wyss Associates, Inc.

cc:

Cindy Edwards	Jenny Scanland	Susan Stead
Larry Hale	John Christopherson	Rebecca Ossa
Marty Phillips	Robert Nellis	Sherry Rupert
Pat McInnis	Rich Harvey	Sandra Wendel
Ward Patrick	Steve Weaver	Patrick Wyss
Ron Crook	Jim Lawrence	File

Included in email: 'GoTo' Meeting Notes

	Project	Quantity	Unit	Unit Price	Total
1	Entry Gateway Corridor & Entrance Gate				
a	Trees, Jacobson Way	88	each	\$325.00	\$28,600.00
b	Trees, Jacobson Way (Crown Raising)	45	each	\$175.00	\$7,875.00
c	Trees , Gibson Avenue	41	each	\$325.00	\$13,325.00
d	Trees, other areas	2	each	\$325.00	\$650.00
e	3 Column Gate at Snyder Avenue	1	lump sum	\$12,500.00	\$12,500.00
f	Stone Landscaping Island at 3 Column Gate at Snyder Avenue	64	lineal foot	\$120.00	\$7,680.00
g	New Landscaping at Entrance Island	1	lump sum	\$2,500.00	\$2,500.00
h	Stone Planter	1	lump sum	\$7,500.00	\$7,500.00
i	Design (10% of construction cost)	1	lump sum		\$8,063.00
j	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$26,607.90
	Subtotal, Entry Gateway Corridor & Entrance Gate				\$115,300.90
2	Infirmary Site (Building # 102)				
a	Site Preparation	1	lump sum	\$25,000.00	\$25,000.00
b	New Concrete Walks	2,637	square foot	\$6.50	\$17,140.50
c	Irrigation	58,865	square foot	\$0.50	\$29,432.50
d	Turf (Hydro-Seeded, fertilized)	6,540	square yard	\$1.00	\$6,540.00
e	New Parking (Pervious Pavement)	2,716	square yard	\$75.00	\$203,700.00
f	Trees	23	each	\$325.00	\$7,475.00
g	Shrubbery	10	lump sum	\$40.00	\$400.00
j	Design (10% of construction cost)	1	lump sum		\$28,968.80
k	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$95,597.04
	Subtotal, Infirmary Site				\$414,253.84
3	Interpretive Loop / Sidewalk Replacements				
a	Concrete Walk Replacements (Those identified as Poor Condition)	25,213	square foot	\$6.50	\$163,884.50
b	Concrete Walk Repairs (Those identified as Fair Condition)	29,821	square foot	\$1.75	\$52,186.75
c	ADA Compliance Curb-Cuts	7	each	\$1,120.00	\$7,840.00
d	Design (10% of construction cost)	1	lump		\$22,391.13

			sum		
e	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$73,890.71
	Subtotal, Interpretive Loop				\$320,193.09
4	Guide by Cell Walking Tour, completed in 2008				
5	Central Green Space & Parking Relocation				
a	Demolition of Existing Curbside Parking and Building #90 Access Lane	1,633	square yard	\$7.25	\$11,839.25
b	Irrigation, new and replacements	608,821	square foot	\$0.40	\$243,528.40
c	Turf Rehabilitation and Enhancement	67,647	square yard	\$0.50	\$33,823.50
d	Trees (South of Buildings #12 and #13)	25	each	\$325.00	\$8,125.00
e	Parking Expansion West of Building #12 (Pervious Pavement)	5,158	square yard	\$75.00	\$386,850.00
f	Trees (Parking Expansion West of Building #12)	11	each	\$325.00	\$3,575.00
g	Parking Expansion East & South of Building #102 (Pervious Pavement)	4,066	square yard	\$75.00	\$304,950.00
h	Parking Expansion East of Building #107 (Pervious Pavement)	7,525	square yard	\$75.00	\$564,375.00
i	Parking Expansion North of Building #18 (Pervious Pavement)	2,197	square yard	\$75.00	\$164,775.00
j	New Access between Buildings #18 and #89	707	square yard	\$75.00	\$53,025.00
k	Design (10% of construction cost)	1	lump sum		\$177,486.62
l	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$585,705.83
	Subtotal, Interpretive Loop				\$2,538,058.59
6	Sculpture Garden and Pool Area Interpretation				
a	Pool Edge Delineation (ground level 18" concrete band)	390	lineal foot	\$37.00	\$14,430.00
b	Commissioned Bronze Sculptures	1	each	\$10,000.00	\$10,000.00
c	Accent Shrubbery and Floral Displays	20,770	square foot	\$3.00	\$62,310.00
d	Berm (Imported Soil)	465	cubic yards	\$4.50	\$2,092.50
e	Perennial Plantings	8,987	square foot	\$2.25	\$20,220.75
f	Mulch for planting areas	999	square yard	\$5.00	\$4,995.00
g	Ornamental Tree	3	each	\$325.00	\$975.00
h	Large Coniferous Tree	1	each	\$500.00	\$500.00
i	Interpretation	1	lump	\$0.00	\$0.00

			sum		
j	Design (10% of construction cost)	1	lump sum		\$11,552.33
k	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$38,122.67
	Subtotal, Sculpture Garden and Pool Area Interpretation				\$165,198.25
7 Relocate Powwow Grounds and new Public Recreation Park					
a	Clearing, Grubbing, Topsoil Stockpiling etc	388,925	cubic yard	\$1.00	\$388,925.00
b	Irrigation, all areas	178,308	square foot	\$0.40	\$71,323.20
c	Football Field Restoration, complete	1	lump sum	\$0.00	\$0.00
d	Cinder Track Surfacing (3", imported)	26	ton	\$3,500.00	\$91,000.00
e	Baseball Field Reconstruction, complete	1	lump sum	\$0.00	\$0.00
f	Sports Field Lighting	17	per pole	\$13,500.00	\$229,500.00
g	Trail along Clear Creek	243	cubic yard	\$28.00	\$6,804.00
h	Connecting Trails	140	cubic yard	\$28.00	\$3,920.00
i	Barn area Plaza	1,075	square yard	\$67.00	\$72,025.00
j	Barn Area Trees	25	each	\$325.00	\$8,125.00
k	Office Courtyard area Paving and Landscaping	1	lump sum	\$0.00	\$0.00
l	Office Courtyard Area Colored Paving	785	square yard	\$41.00	\$32,185.00
m	Office Courtyard Trees	5	each	\$325.00	\$1,625.00
n	Office Courtyard Tree Crown Raising	4	each	\$175.00	\$700.00
o	Potable Water to camping area along Clear Creek with fittings	1,014	lineal foot	\$55.00	\$55,770.00
p	New Restrooms (Renovate Existing Structure)	2,405	square foot	\$160.00	\$384,800.00
q	New Bleachers	5	each	\$8,500.00	\$42,500.00
r	Trail Lighting	2	each	\$3,500.00	\$7,000.00
s	Perimeter Fence (Bollard & Chain)	1	lump sum	\$97,000.00	\$97,000.00
t	Extend Street Trees to Barns	10	each	\$325.00	\$3,250.00
u	Access Road and Bus Parking (Pervious Pavement)	3,033	square yard	\$75.00	\$227,475.00
v	Grasscrete Pourous Paving for Overflow Parking	44,010	square foot	\$8.50	\$374,085.00
w	Trash Receptacles (32 gal)	12	each	\$750.00	\$9,000.00
x	Picnic Tables (ADA Accessible)	16	each	\$1,800.00	\$28,800.00
y	Design (10% of construction cost)	1	lump sum		\$209,801.22
z	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$703,684.03
	Subtotal, Relocate Powwow Grounds and new Public Rec. Park				\$3,049,297.45

8 Floral Demonstration Area

b	Log Pergolas (12'W x 55'L)	2	each lineal	\$22,000.00	\$44,000.00
c	Landscape Retaining Walls	115	foot	\$215.00	\$24,725.00
d	Ornamental Trees	6	each	\$325.00	\$1,950.00
e	Ornamental Shrubs	40	each	\$40.00	\$1,600.00
f	Accent Plantings	40	each	\$45.00	\$1,800.00
g	Irrigation	2,560	square foot	\$1.25	\$3,200.00
h	Accent Lighting (uplights)	20	each	\$450.00	\$9,000.00
i	Concrete Walk Remove & Replacement	2,050	square foot	\$7.50	\$15,375.00
j	Design (10% of construction cost)	1	lump sum		\$7,727.50
k	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$32,813.25
	Subtotal, Floral Demonstration Area				\$142,190.75

9 Site Lighting

a	Ornamental Campus Street Light Fixtures, Jacobson Way	41	each	\$8,000.00	\$328,000.00
b	Ornamental Campus Street Light Fixtures, Gibson Avenue Way	11	each	\$8,000.00	\$88,000.00
c	Ornamental Campus Street Light Fixtures, Wa-Pi Shone Avenue	20	each	\$8,000.00	\$160,000.00
d	Pedestrian Lighting	28	each	\$2,500.00	\$70,000.00
e	Accent Lighting	25	each	\$450.00	\$11,250.00
f	Design (10% of construction cost)	1	lump sum		\$57,600.00
g	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$214,455.00
	Subtotal, Site Lighting				\$929,305.00

10 Tree Replacement Program

a	Replace on an "as needed" Basis, approximate cost per tree		each	\$500.00	
b	Tree Maintenance, completed with in-house personnel		each	\$0.00	

11 Site Signage

a	Historic Street Identification Signage	20	each	\$500.00	\$10,000.00
b	Interpretive Signage Panel w/ Boulders for Walking Tour (PowWow& Aud.)	2	each	\$4,000.00	\$8,000.00
c	Interpretive Panel Structure at Gymnasium, Sculpture Garden & Commissary	3	each	\$6,500.00	\$19,500.00
d	Interpretive Signage (same as 'guide by cell' signage)	8	each	\$1,250.00	\$10,000.00
e	Design (10% of construction cost)	1	lump sum		\$4,750.00

f	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$15,675.00
	Subtotal, Site Signage				\$67,925.00
12	Original Auditorium Site				
a	New Concrete Walks	3,800	square foot	\$6.50	\$24,700.00
b	Log Pergolas (12'W x 55'L)	1	each	\$22,000.00	\$22,000.00
c	Irrigation	47,562	square foot	\$0.50	\$23,781.00
d	Demolish Existing Parking Lot (Asphalt)	1,661	square yard	\$4.25	\$7,059.25
e	Grading at demolished parking lot	10,017	cubic yard	\$3.50	\$35,059.50
f	Turf	1,661	square yard	\$1.00	\$1,661.00
g	Shade Trees	11	each	\$450.00	\$4,950.00
h	Ornamental Shrubs	20	each	\$45.00	\$900.00
i	Accent Plantings	20	each	\$45.00	\$900.00
j	Accent Lighting	10	each	\$450.00	\$4,500.00
k	Interpretive Signage Panel w/ Boulders	1	each	\$1,000.00	\$1,000.00
l	Design (10% of construction cost)	1	lump sum		\$12,651.08
m	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$41,748.55
	Subtotal, Original Auditorium Site				\$180,910.37
13	Original Gymnasium Site				
a	New Concrete Walks	2,463	square foot	\$6.50	\$16,009.50
b	Irrigation	21,778	square foot	\$0.55	\$11,977.90
c	Turf (hydroseeding & fertilization)	2,420	square yard	\$1.33	\$3,218.60
d	Trees	10	each	\$325.00	\$3,250.00
e	Foundation Plantings	15	each	\$40.00	\$600.00
f	Interpretive Signage (1 structure)	1	lump sum	\$2,500.00	\$2,500.00
g	Design (10% of construction cost)	1	lump sum		\$25,711.49
h	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$18,980.25
	Subtotal, Infirmary Site				\$82,247.74
14	Original Commissary Site				
a	Irrigation	29,490	square foot	\$0.65	\$19,168.50

b	Turf (hydroseeding & fertilization)	3,277	square yard	\$1.33	\$4,358.41
c	Trees	12	each	\$325.00	\$3,900.00
d	Interpretive Signage (1 structure)	1	lump sum	\$2,500.00	\$2,500.00
e	Design (10% of construction cost)	1	lump sum		\$2,992.69
f	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$9,875.88
	Subtotal, Commissary Site				\$42,795.48

15 Power Lines and Poles

Relocate Underground, costs projections by others

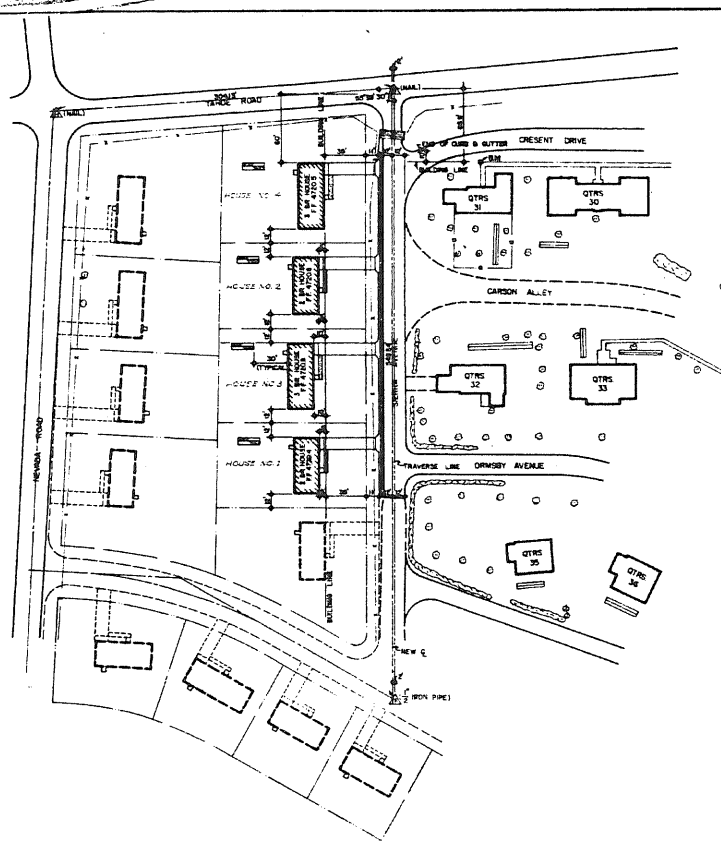
16 Residential Streetscape

b	Roadway Repairs and Paving	2,611	square yard	\$75.00	\$195,825.00
c	Concrete Sidewalk Replacements	3,500	square foot	\$6.50	\$22,750.00
d	Sod for Boulevard area	2,430	square yard	\$6.00	\$14,580.00
e	Irrigation, complete	99,875	square foot	\$0.50	\$49,937.50
f	Street Trees	26	each	\$325.00	\$8,450.00
	Street Trees (Crown Raising)	39	each	\$175.00	\$6,825.00
g	Street Lighting	14	each	\$10,500.00	\$147,000.00
h	Street Signage	8	each	\$350.00	\$2,800.00
i	Utility Replacements	1	lump sum	\$0.00	\$0.00
j	Design (10% of construction cost)	1	lump sum		\$44,816.75
k	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$147,895.28
	Subtotal, Residential Streetscape				\$640,879.53

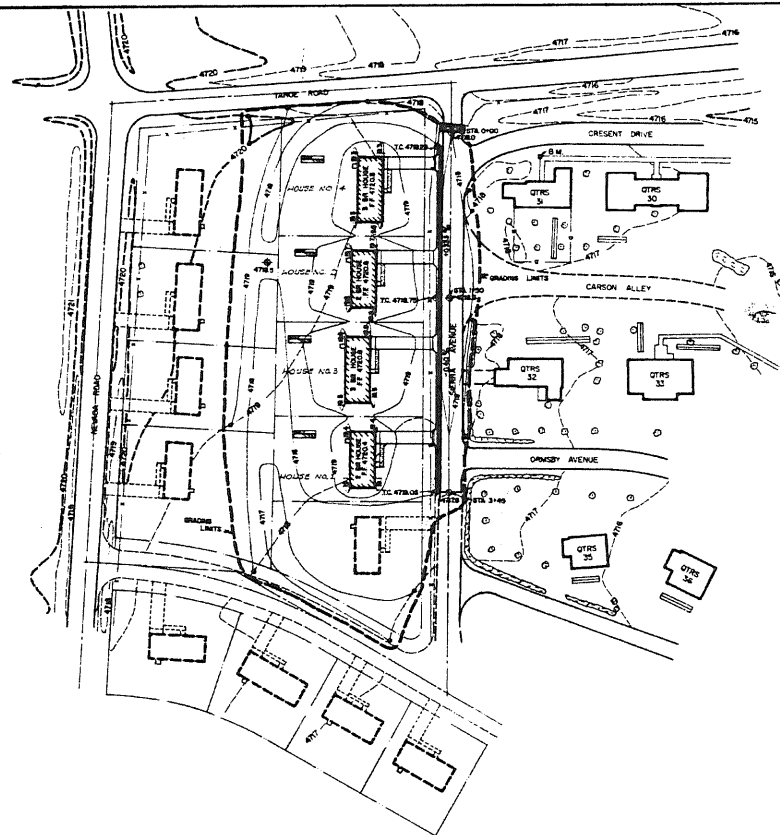
17 Model Residential Grounds

a	Sod for Yards	876	square yard	\$6.00	\$5,256.00
b	Irrigation, complete	7,878	square foot	\$1.00	\$7,878.00
c	Yard Trees	3	each	\$350.00	\$1,050.00
d	Foundation Plantings	34	each	\$50.00	\$1,700.00
e	Utility Replacements	1	lump sum	\$0.00	\$0.00
f	Design (10% of construction cost)	1	lump sum		\$1,588.40
g	Contingency, Mob., Bonding, Insurance & Nevada Project Management	1	30%		\$5,241.72

Subtotal, Model Residential Grounds				\$22,714.12
18	Reintroduce Tennis Court			
a	Site Preparation	1	lump sum	\$17,500.00 \$17,500.00
b	Court Paving and Surface Painting/Finishing	1,590	square yard	\$90.00 \$143,100.00
c	Court Fencing	480	linear foot	\$110.00 \$52,800.00
d	Court Equipment	1	lump sum	\$5,000.00 \$5,000.00
e	Accent Plantings	130	each	\$45.00 \$5,850.00
e	Large Deciduous Trees	8	each	\$400.00 \$3,200.00
f	Design (10% of construction cost)	1	lump sum	
	Contingency, Mob., Bonding, Insurance & Nevada Project			\$22,745.00
g	Management	1	30%	\$75,058.50
Subtotal, Tennis Court				\$325,253.50



++ BUILDING LOCATION PLAN ++



++ SITE GRADING PLAN ++

++ LEGEND ++

FEATURE	EXISTING	NEW	FUTURE
BUILDING	[Solid black rectangle]	[Hatched rectangle]	[Dashed rectangle]
PAVED STREET	[Solid line]	[Solid line with cross-hatching]	[Dashed line]
UNPAVED STREET	[Dashed line]	[Dashed line with cross-hatching]	[Dashed line]
SEWER	[Solid line with 'S']	[Solid line with 'S']	[Dashed line with 'S']
CLOTHESLINE	[Solid line with 'C']	[Solid line with 'C']	[Dashed line with 'C']
TREE	[Circle with cross-hatching]	[Circle with cross-hatching]	[Circle with cross-hatching]
HEDGE	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]
BARBED WIRE FENCE	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]
CORRUGATED ASBESTOS FENCE	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]
CATTLEGUARD	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]
CONTOUR	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]
SPOT ELEVATION	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]
LOT	[Solid line with cross-hatching]	[Solid line with cross-hatching]	[Dashed line with cross-hatching]

++ NOTES ++

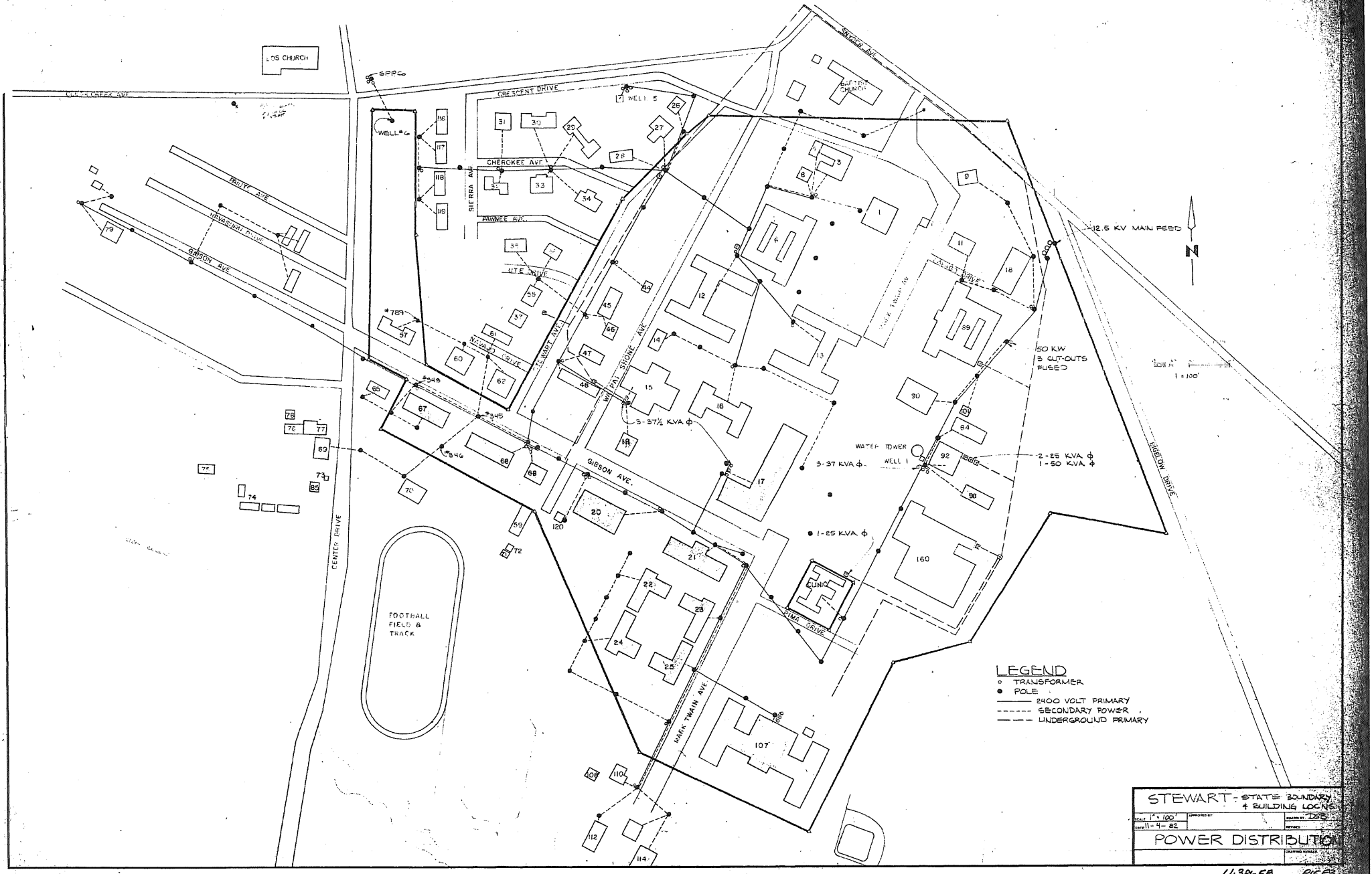
- SITE GRADING:**
1. GRADING LIMITS ARE FOR REFERENCE ONLY. CONTRACTOR IS REQUIRED TO CARRY FINISH CONTOURS TO A POINT THAT WILL BLEND INTO EXISTING CONTOURS TO GIVE A PLEASING & UNIFORM EFFECT.
 2. ALL EXTERIOR GRADES SHOULD SLOPE AWAY FROM THE STRUCTURE PROPER IN ORDER TO PROVIDE POSITIVE DRAINAGE ACTION.
 3. REMOVE EXISTING FENCING PARALLEL TO SIERRA AVENUE NECESSARY TO FACILITATE CONSTRUCTION.
 4. SCANIFY EXISTING SURFACED AREA ON SIERRA AVENUE FROM EXISTING CATTLEGUARD SOUTH APPROXIMATELY 325' & RESURFACE WITH 2" DOUBLE BITUMINOUS SURFACING, GUTS & GUTTER WEST EDGE OF STREET AS INDICATED FOR CONSTRUCTION SEE TYPICAL DETAIL SHEET.
 5. SIDEWALKS AT NEW QUARTERS TO BE CONCRETE, 4" THICK, 3' WIDE.
 6. DRIVEWAYS TO NEW QUARTERS TO BE CONCRETE, 4" THICK, 12' WIDE.
 7. BLEND CRESCENT DRIVE, CARSON ALLEY, & DRANSBY AVENUE INTO NEW STREET CONSTRUCTION.

- BUILDING LOCATION:**
1. INSTALL NEW CLOTHESLINES AT LOCATIONS SHOWN FOR CONSTRUCTION SEE TYPICAL DETAIL SHEET.

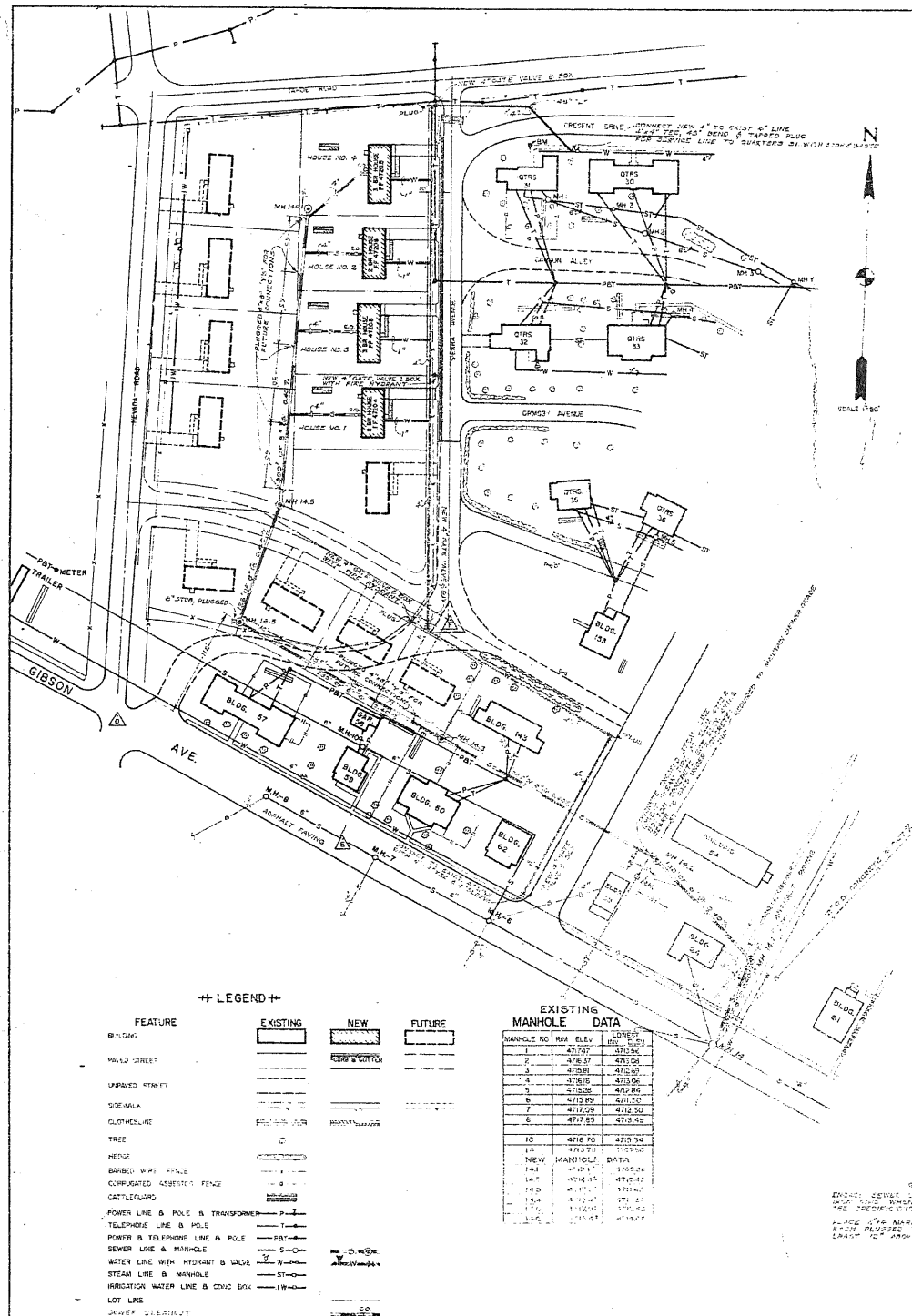
--AS BUILT--

B.M. ELEV. 4718.7 - CHISEL SQUARE ON NORTHWEST CORNER OF L. JUNCTION OF SIDEWALK IN FRONT OF BUILDING NO. 3.

DEPARTMENT OF THE INTERIOR BUREAU OF INDIAN AFFAIRS WASHINGTON, D. C.	
PROJECT NUMBER BU 433-666	SHEET NO. 1
STEWART SCHOOL & HOUSING STEWART, NEVADA	
SITE & BUILDING LOCATION PLAN	
PREPARED BY [Signature]	CHECKED BY [Signature]
DATE 1/1/52	DATE 1/1/52
BRANCH OF PLANT DESIGN & CONSTRUCTION ALBUQUERQUE, NEW MEXICO RALPH W. BENT CHIEF	



STEWART - STATE BOUNDARY + BUILDING LOCATIONS	
SCALE: 1" = 100'	DATE: 11-4-82
POWER DISTRIBUTION	
U-3A-5B	

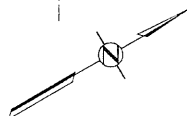
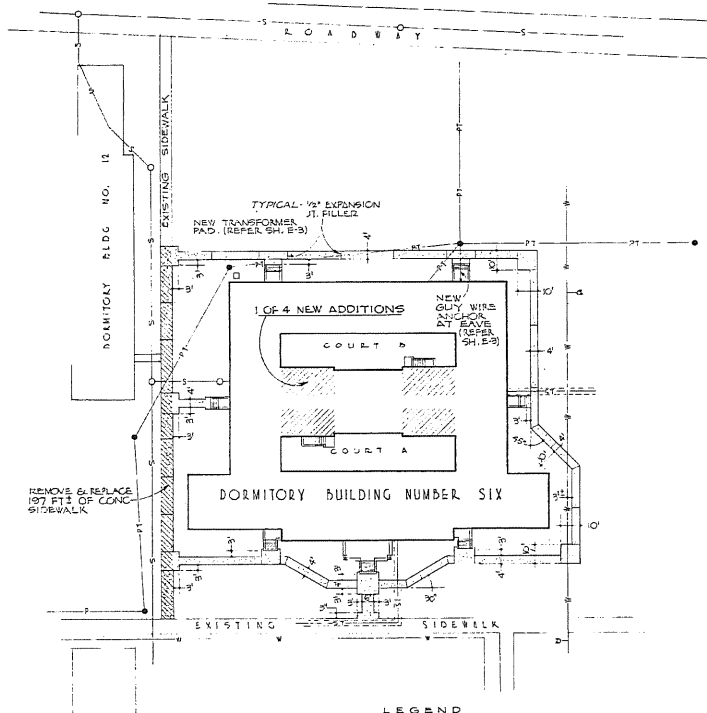


—AS BUILT—

++ SEWER & WATER ++

DEPARTMENT OF THE INTERIOR BUREAU OF INDIAN AFFAIRS WASHINGTON, D. C.		PROJECT NUMBER 50-458-280		SHEET NO.	
STEWART SCHOOL & HOUSING STEWART, NEVADA		DRAWN BY J. L. BROWN		TOTAL SHEETS 1	
SEWER & WATER PLOT PLAN		CHECKED BY J. L. BROWN		DATE 11-1-50	
APPROVED BY ALBUQUERQUE, NEW MEXICO		DRAWING NO. 50-458-280-1		DATE 11-1-50	

U-444 604-2



SITE PLAN
SCALE, 1/4" = 30 FT

LEGEND

- REMOVE & REPLACE SIDEWALK AS DESCRIBED BELOW
EXT. JT.
- NEW 4\"/>

BUILDING NUMBER SIX

RENOVATE
DORMITORY

STEWART, NEVADA

SEQUENCE NO.
SHEET NO.

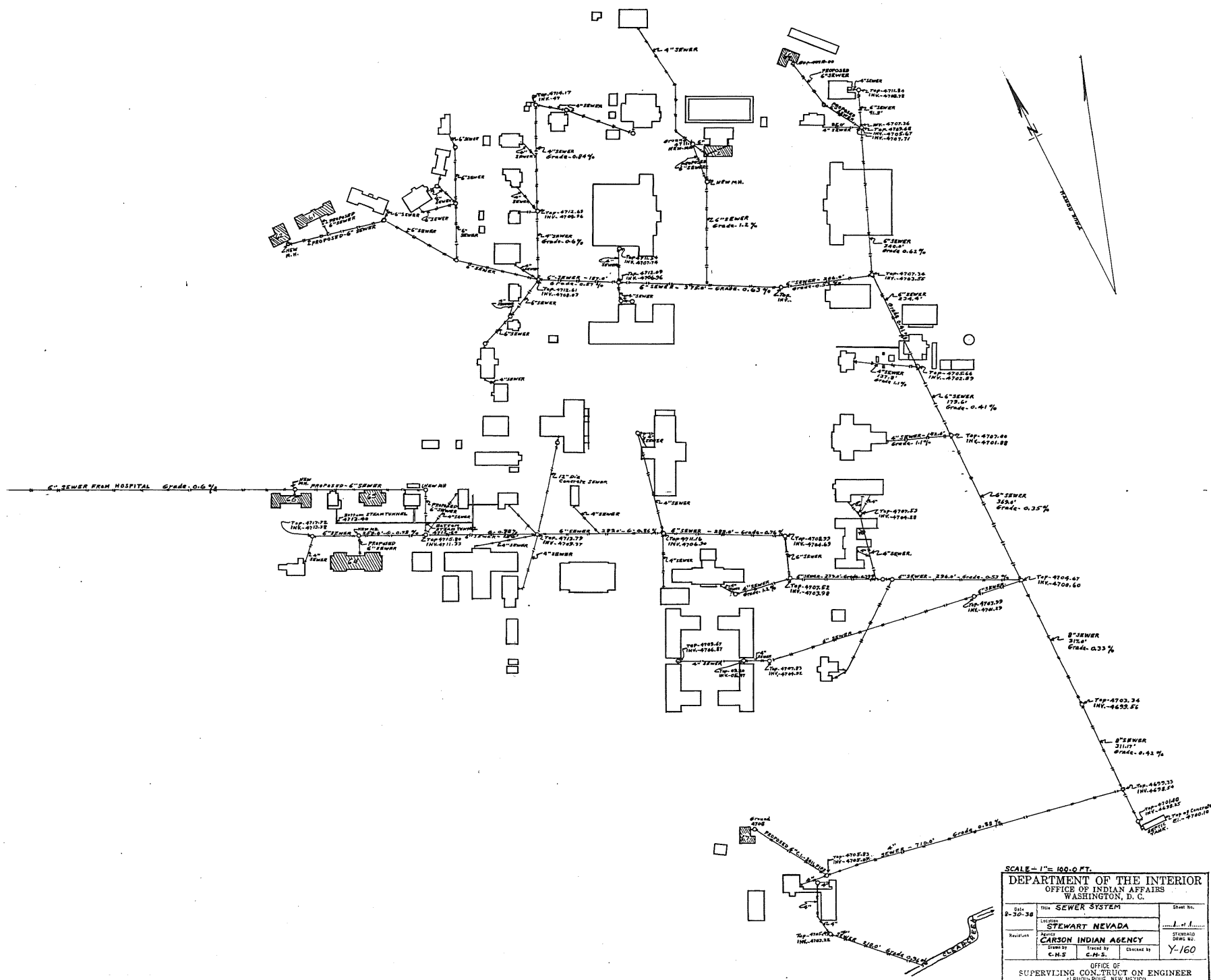
INDEX

- 1 A TITLE SHEET
- 2 A1 EXISTING FLOOR PLAN - DEMOLITION
- 3 A2 FLOOR PLAN
- 4 A3 SCHEDULES
- 5 A4 STRUCTURAL DETAILS - NEW ADDITIONS
- 6 A5 NEW ADDITIONS - INNER COURTS
- 7 A6 ATTIC STRUCTURAL DETAILS
- 8 A7 CEILING PLAN
- 9 A8 CROSS SECTIONS
- 10 A9 ROOF TRUSS • CONCRETE STEPS
- 11 A10 DOOR & WINDOW DETAILS
- 12 A11 MASONRY OPENINGS • WAINSCOT • CABINETWORK
- 13 A12 INTERIOR ELEVATIONS • CABINETWORK
- 14 P1 SOIL & WASTE PIPING
- 15 P2 WATER PIPING
- 16 M1 HEATING - FLOOR PLAN
- 17 M2 HEATING - SUB-FLOOR PLAN
- 18 M3 MECHANICAL ROOM PIPING & DETAILS
- 19 E1 CEILING PLAN - ELECTRICAL
- 20 E2 FLOOR PLAN - ELECTRICAL
- 21 E3 PANELS & SWITCHES - ELECTRICAL

PROJECT FIRE SAFETY APPROVED

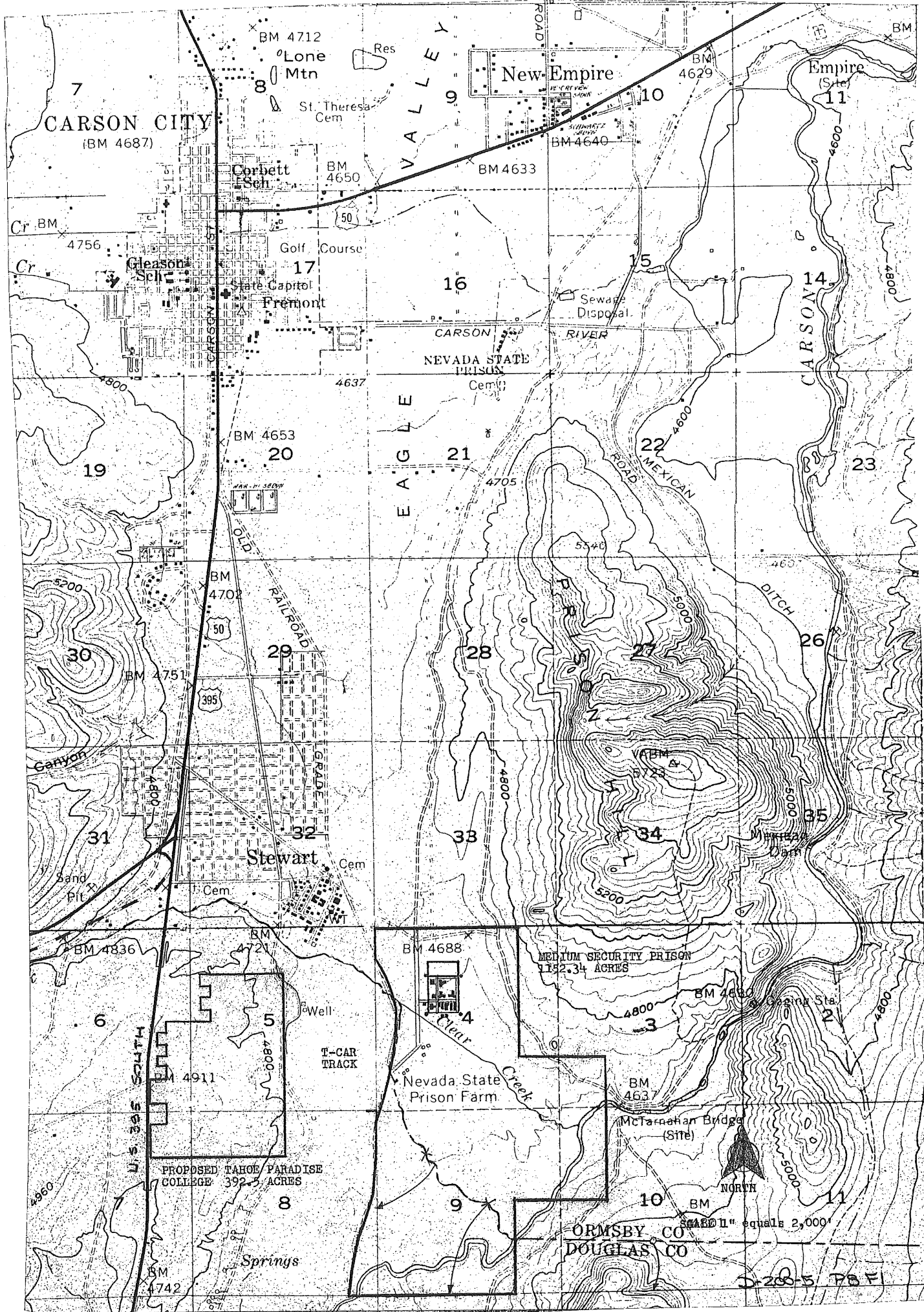
SS *[Signature]* DATE 11-25-74
PAD SAFETY OFFICER

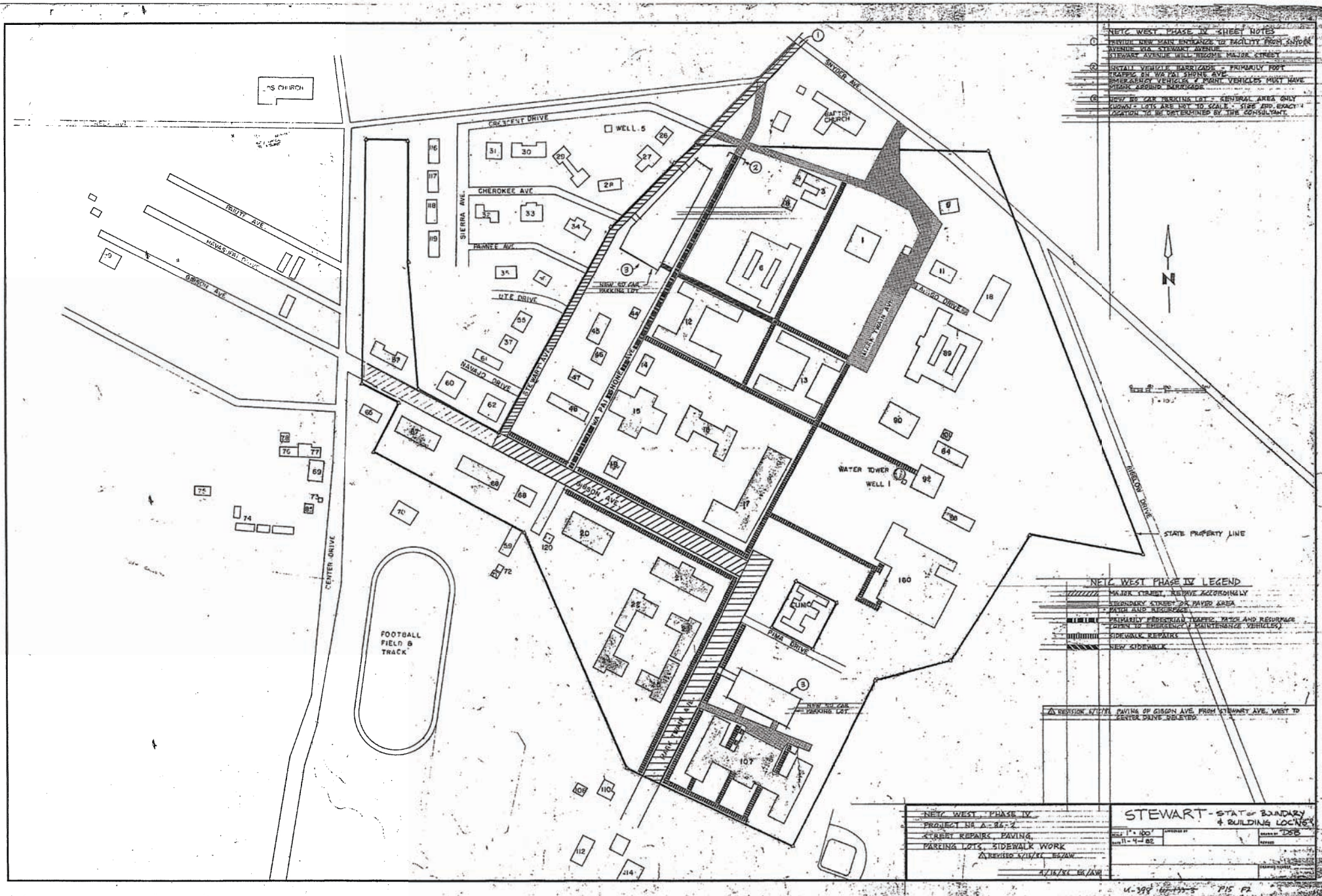
DEPARTMENT OF THE INTERIOR BUREAU OF INDIAN AFFAIRS PHOENIX, ARIZONA			
SHEET TITLE	TITLE SHEET		SHEET A
PROJECT	BUILDING NUMBER SIX RENOVATE DORMITORY STEWART, NEVADA		SEQUENCE NO. 1 OF 21
PREPARED BY GARDINER	DRAWN BY GARDINER	CHECKED BY [Signature]	DATE 31 DEC 74 DRAWING NO. PME-406
BRANCH OF PLANT MANAGEMENT PHOENIX AREA OFFICE			



SCALE - 1" = 100.0 FT.

DEPARTMENT OF THE INTERIOR			
OFFICE OF INDIAN AFFAIRS			
WASHINGTON, D. C.			
Date	Title	Sheet No.	
2-30-38	SEWER SYSTEM		
Location	STEWART NEVADA		Sheet No.
Agency	CARSON INDIAN AGENCY		STANDARD
Drawn by	Checked by	Y-160	
C.H.S.			
OFFICE OF SUPERVISING CONSTRUCTION ENGINEER ALBUQUERQUE, NEW MEXICO			





NEIC WEST PHASE IV SHEET NOTES

1. PROVIDE NEW MAIN ENTRANCE TO FACILITY FROM STEWART AVENUE VIA STEWART AVENUE
2. STEWART AVENUE SHALL BECOME MAJOR STREET
3. INSTALL VEHICLE BARRICADE - PRIMARILY FOR TRAFFIC ON WATSON DRIVE
4. EMERGENCY VEHICLES & MAINTENANCE VEHICLES MUST HAVE STOPS AROUND BARRICADE
5. NEW 60 CAR PARKING LOT - CRITICAL AREA ONLY SHOWN - LOTS ARE NOT TO SCALE - SIZE AND EXACT LOCATION TO BE DETERMINED BY THE CONSULTANT



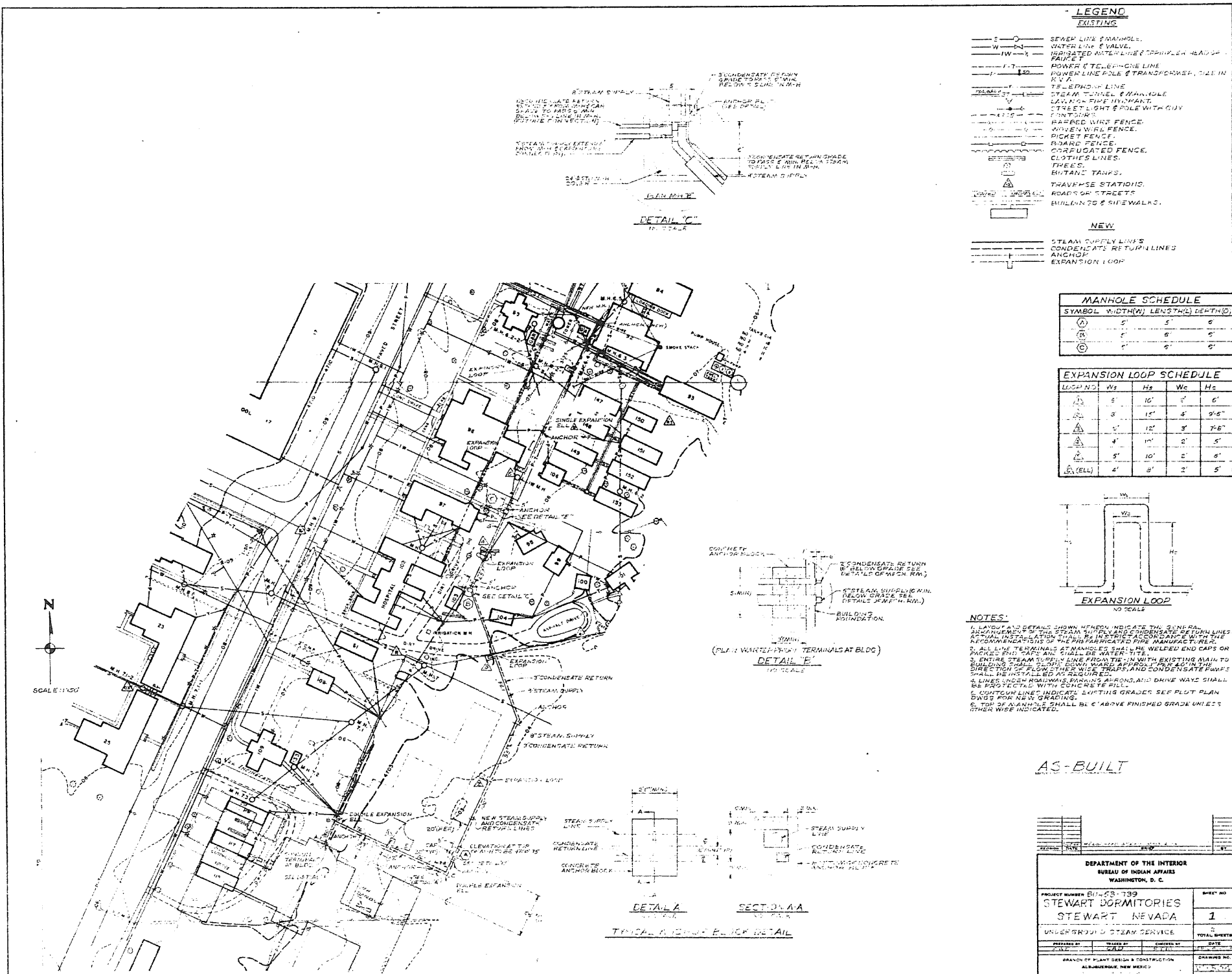
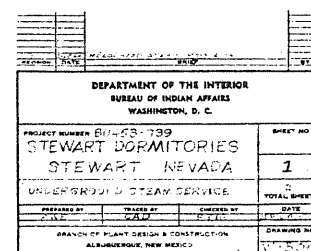
Scale 1" = 10'

NEIC WEST PHASE IV LEGEND

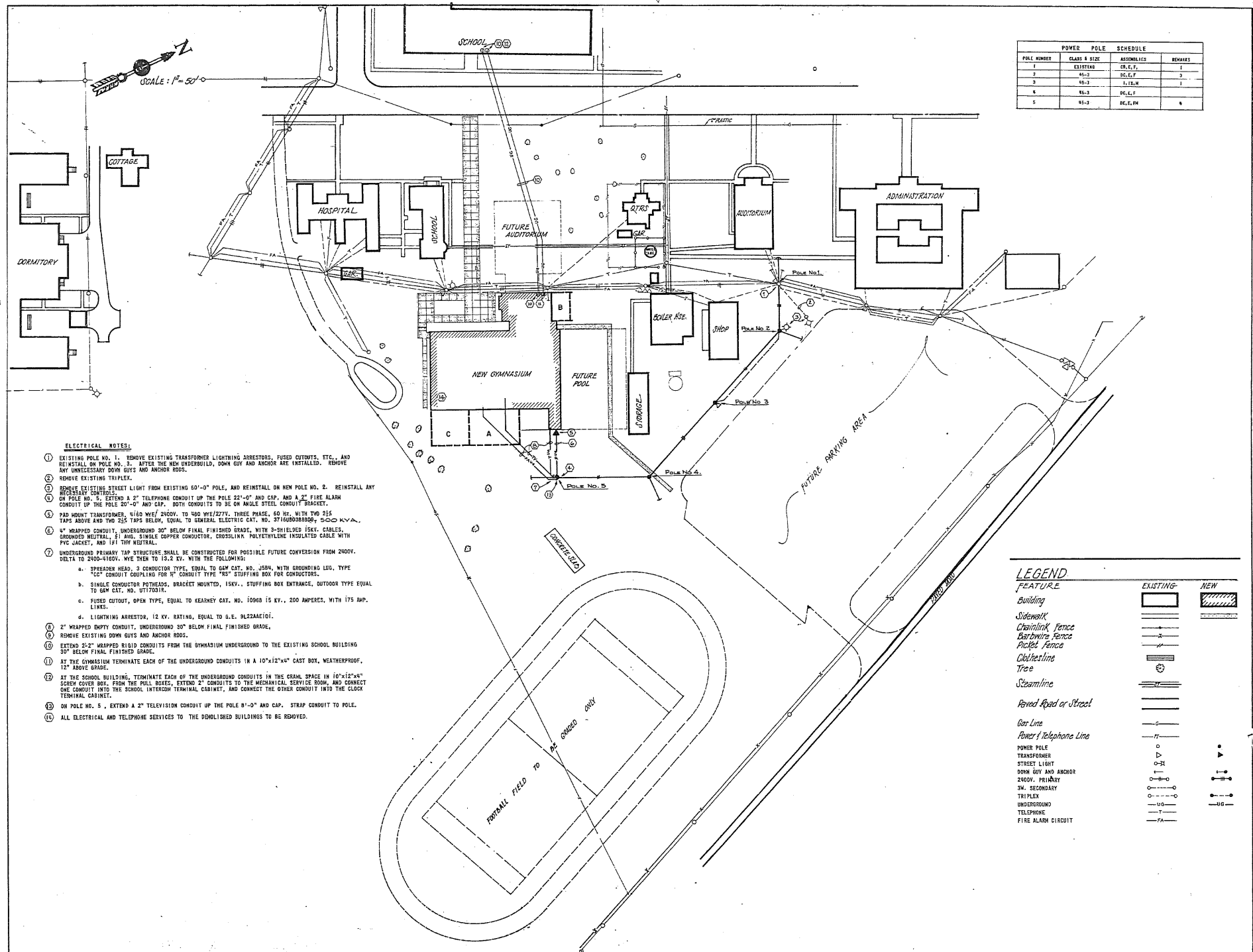
- 1. MARK STREET, ASIDE ACCESSORY
- 2. BARRICADE STREET, ASIDE ACCESSORY
- 3. PATCH AND REPAIRS
- 4. PRIMARILY EMERGENCY TRAFFIC, PATCH AND REPAIRS
- 5. PATCH AND REPAIRS
- 6. SIDEWALK REPAIRS
- 7. NEW SIDEWALK

IN SECTION STUDY PAVING OF GIBSON AVE FROM STEWART AVE. WEST TO CENTER DRIVE DELETED

NEIC WEST PHASE IV		STEWART-STATE BOUNDARY & BUILDING LOCATOR	
PROJECT NO. A-2672		SHEET 1 OF 100	
STREET REPAIRS, PAVING, PARKING LOTS, SIDEWALK WORK		DATE 11-4-82	
DESIGNED BY: [Signature]		DRAWN BY: [Signature]	
7/15/84 BR/AVR		7/15/84	



71-170



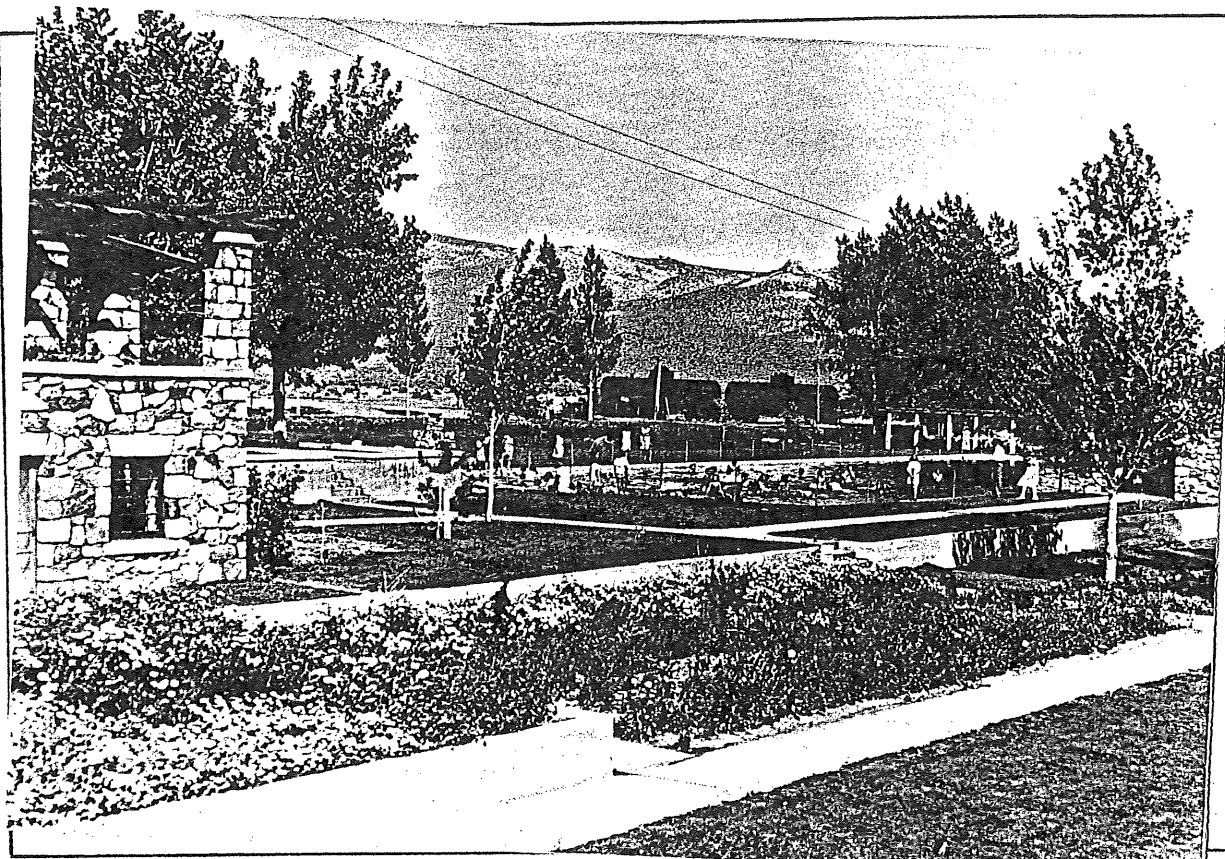
POLE NUMBER	CLASS & SIZE	SCHEDULE	REMARKS
1	EXISTING	CH, E, F	1
2	45-3	DC, E, F	3
3	45-3	DC, E, F	1
4	45-3	DC, E, F	1
5	45-3	DC, E, F	1

ELECTRICAL NOTES:

1. EXISTING POLE NO. 1. REMOVE EXISTING TRANSFORMER LIGHTNING ARRESTORS, FUSED OUTGOIS, ETC., AND REINSTALL ON POLE NO. 2. AFTER THE NEW UNDERBUILDS, DOWN GUY AND ANCHOR ARE INSTALLED. REMOVE ANY UNNECESSARY DOWN GUYS AND ANCHOR ROOS.
2. REMOVE EXISTING TRIPLEX.
3. REMOVE EXISTING STREET LIGHT FROM EXISTING 60'-0" POLE, AND REINSTALL ON NEW POLE NO. 2. REINSTALL ANY NECESSARY CONTROLS.
4. ON POLE NO. 5, EXTEND A 2" TELEPHONE CONDUIT UP THE POLE 22'-0" AND CAP, AND A 2" FIRE ALARM CONDUIT UP THE POLE 50'-0" AND CAP. BOTH CONDUITS TO BE ON ANGLE STEEL CONDUIT BRACKET.
5. PAD MOUNT TRANSFORMER, 4160 WYE/240V. TO 480 WYE/277V. THREE PHASE, 60 HZ. WITH TWO 255 TAPS ABOVE AND TWO 255 TAPS BELOW, EQUAL TO GENERAL ELECTRIC CAT. NO. 371600000000, 500 KVA.
6. 4" WRAPPED CONDUIT, UNDERGROUND 30" BELOW FINAL FINISHED GRADE, WITH 3-SHIELDED 15KV. CABLES, UNGROUNDED NEUTRAL, 5/16" ANGLE COPPER CONDUCTOR, CROSSLINK POLYETHYLENE INSULATED CABLE WITH PVC JACKET, AND 1/2" THIN NEUTRAL.
7. UNDERGROUND PRIMARY TAP STRUCTURE SHALL BE CONSTRUCTED FOR POSSIBLE FUTURE CONVERSION FROM 2400V. DELTA TO 2400-4160V. WYE THEN TO 15.2 KV. WITH THE FOLLOWING:
 - a. SPREADER HEAD, 3 CONDUCTOR TYPE, EQUAL TO GEM CAT. NO. 158N, WITH GROUNDING LEG, TYPE "CC" CONDUIT COUPLING FOR "H" CONDUIT TYPE "RS" STUFFING BOX FOR CONDUCTORS.
 - b. SINGLE CONDUCTOR POTHEADS, BRACKET MOUNTED, 15KV., STUFFING BOX ENTRANCE, OUTDOOR TYPE EQUAL TO GEM CAT. NO. UT700516.
 - c. FUSED OUTGO, OPEN TYPE, EQUAL TO KEARNEY CAT. NO. 10668 IS KV., 200 AMPERES, WITH 175 AMP. LINKS.
 - d. LIGHTNING ARRESTOR, 12 KV. RATING, EQUAL TO G.E. 9L22A6101.
8. 2" WRAPPED EMPTY CONDUIT, UNDERGROUND 30" BELOW FINAL FINISHED GRADE.
9. REMOVE EXISTING DOWN GUYS AND ANCHOR ROOS.
10. EXTEND 2-2" WRAPPED RIGID CONDUITS FROM THE GYMNASIUM UNDERGROUND TO THE EXISTING SCHOOL BUILDING 30" BELOW FINAL FINISHED GRADE.
11. AT THE GYMNASIUM TERMINATE EACH OF THE UNDERGROUND CONDUITS IN A 10"x12"x4" CAST BOX, WEATHERPROOF, 12" ABOVE GRADE.
12. AT THE SCHOOL BUILDING, TERMINATE EACH OF THE UNDERGROUND CONDUITS IN THE CRAWL SPACE IN 10"x12"x4" SCREW COVER BOX, FROM THE PULL BOXES, EXTEND 2" CONDUITS TO THE MECHANICAL SERVICE ROOM, AND CONNECT ONE CONDUIT INTO THE SCHOOL INTERCOM TERMINAL CABINET, AND CONNECT THE OTHER CONDUIT INTO THE CLOCK TERMINAL CABINET.
13. ON POLE NO. 5, EXTEND A 2" TELEVISION CONDUIT UP THE POLE 91'-0" AND CAP. STRAP CONDUIT TO POLE.
14. ALL ELECTRICAL AND TELEPHONE SERVICES TO THE DEDICATED BUILDINGS TO BE REMOVED.

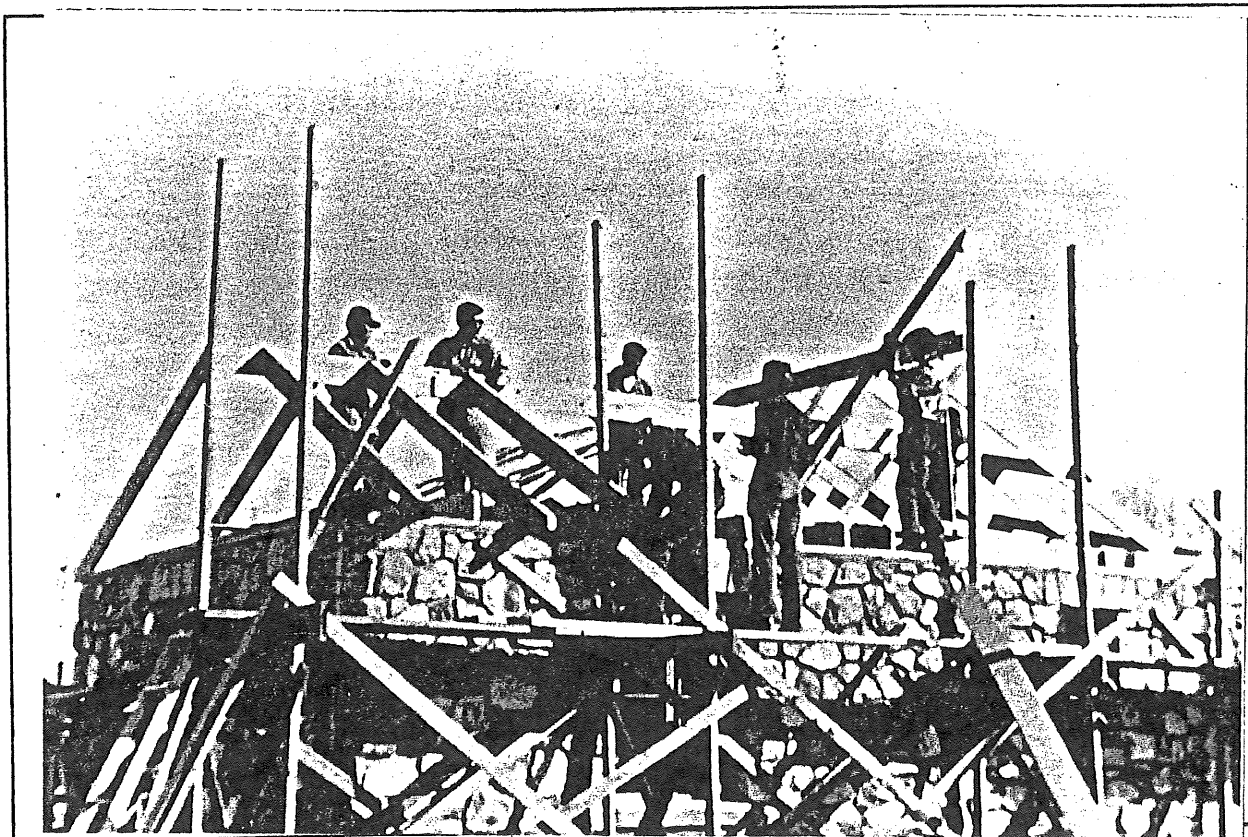
LEGEND

FEATURE	EXISTING	NEW
Building		
Sidewalk		
Chainlink Fence		
Barbed Wire Fence		
Picket Fence		
Chainlink		
Tree		
Steamline		
Pered Road or Street		
Bar Line		
Power & Telephone Line		
POWER POLE		
TRANSFORMER		
STREET LIGHT		
DOWN GUY AND ANCHOR		
2400V. PRIMARY		
3V. SECONDARY		
TRIPLEX		
UNDERGROUND		
TELEPHONE		
FIRE ALARM CIRCUIT		



Swimming pool and Virginia & Truckee rail spur, Ca. 1932
(Coll. Margaret (Snyder) Jones, Carson City)

Photo No. 7



Students constructing stone cottage, 1956
(Coll. Hugh O. Tyler, Carson City)

Photo No. 8

Section A: Landscape Analysis

Stewart Indian School Cultural Landscape Report

*Volume III of III
Preservation Approach
and
Treatment Plan*

AUGUST 31, 2009

Prepared by:



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

Section A: Landscape Analysis

Stewart Indian School Cultural Landscape Report *Volume III of III* *Preservation Approach and Treatment Plan*

AUGUST 31, 2009

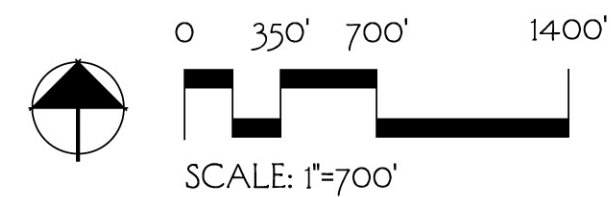
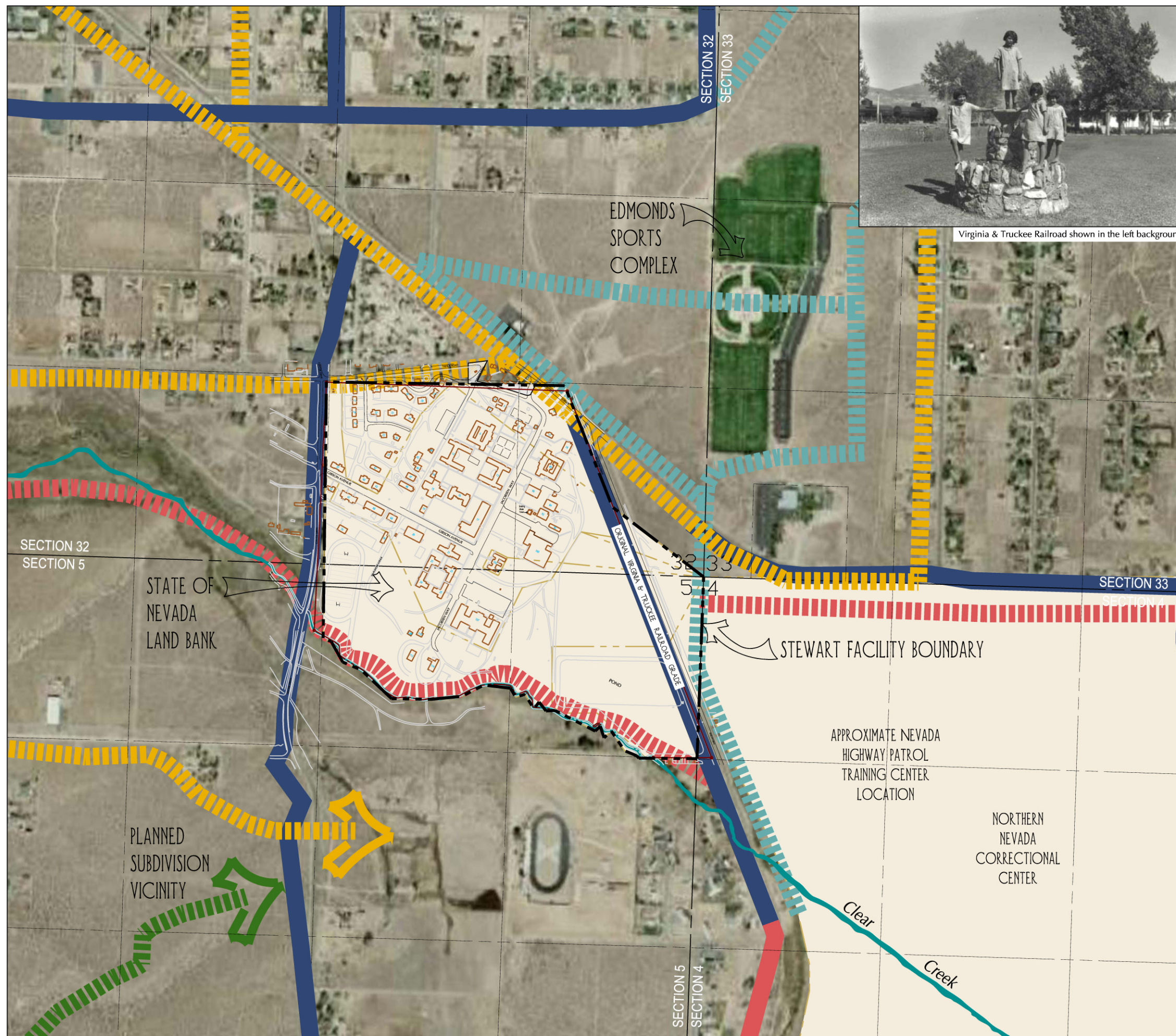
Prepared by:



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com



- STATE OF NEVADA PROPERTY
- EXISTING SHARED STREET
- PROPOSED OFF-STREET/PAVED/MULTI-USE PATH
- PROPOSED OFF-STREET/PAVED/SHARED PATH
- EXISTING OFF-STREET/UNPAVED DOUBLE TRACK PATH
- PROPOSED OFF-STREET/UNPAVED DOUBLE TRACK PATH
- PROPOSED ON-STREET BIKE LANE
- SECTION LINE
- QUARTER SECTION LINE

Notes:

1. Planned Trail Locations Provided by: United Pathways Master Plan, Carson City, Nevada Parks and Recreation Dept.
2. On-Campus activities include those of the Indian Commission, Peace Officers Standards and Training (POST), Nevada Highway Patrol Training, Nevada Department of Correction Administration, Department of Public Safety Offices, residential and treatment facilities for non-profit groups, and a treated wastewater lagoon.

VICINITY AND TRAILS MAP

CARSON CITY, NV

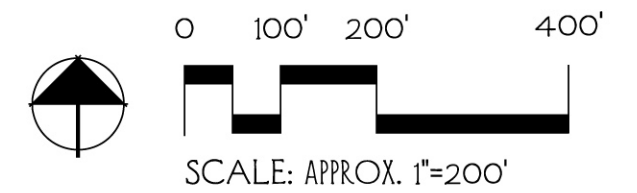
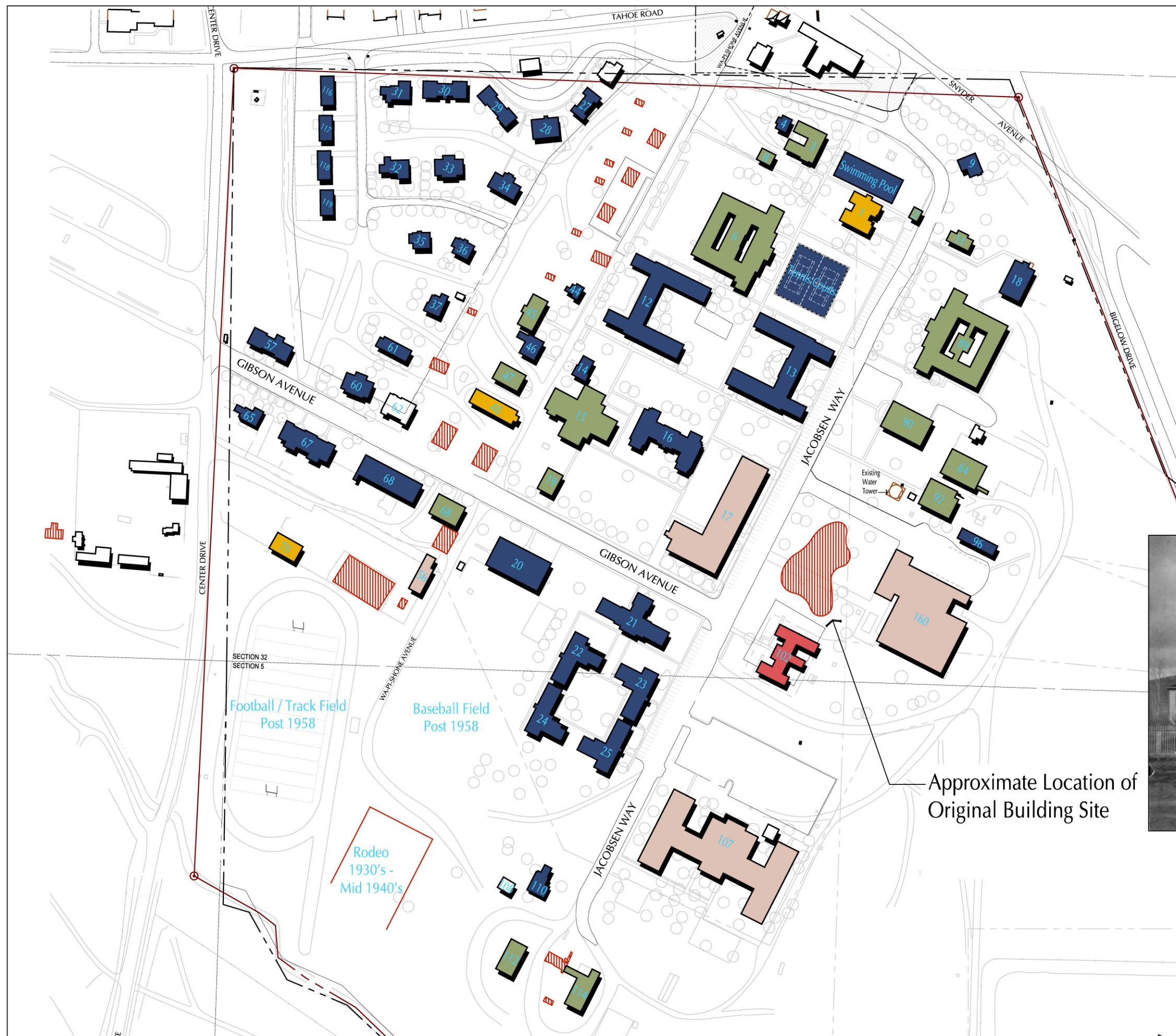
AUGUST 31, 2009



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com



- 1887-1904
- 1904-1919
- 1919-MID 30'S
- MID 30'S-1956
- 1956-PRESENT
- APPROXIMATE LOCATION OF DEMOLISHED BUILDINGS
- NO RECORDED DATE



Photo of Original Building Site- Circa 1890

ORIGINAL CAMPUS PLAN

CARSON CITY, NV

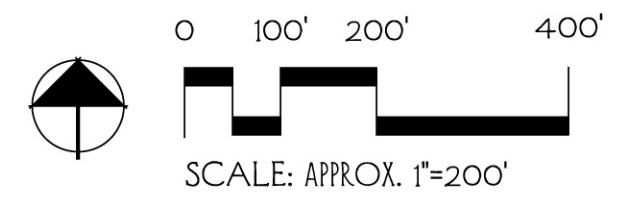
AUGUST 31, 2009




**Wyss
Associates, Inc.**

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

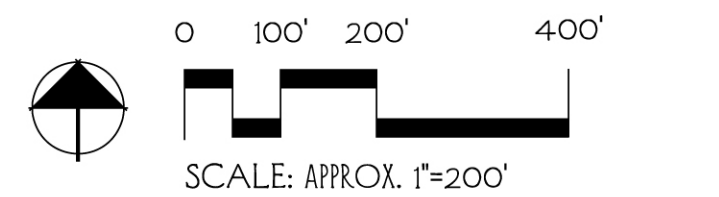
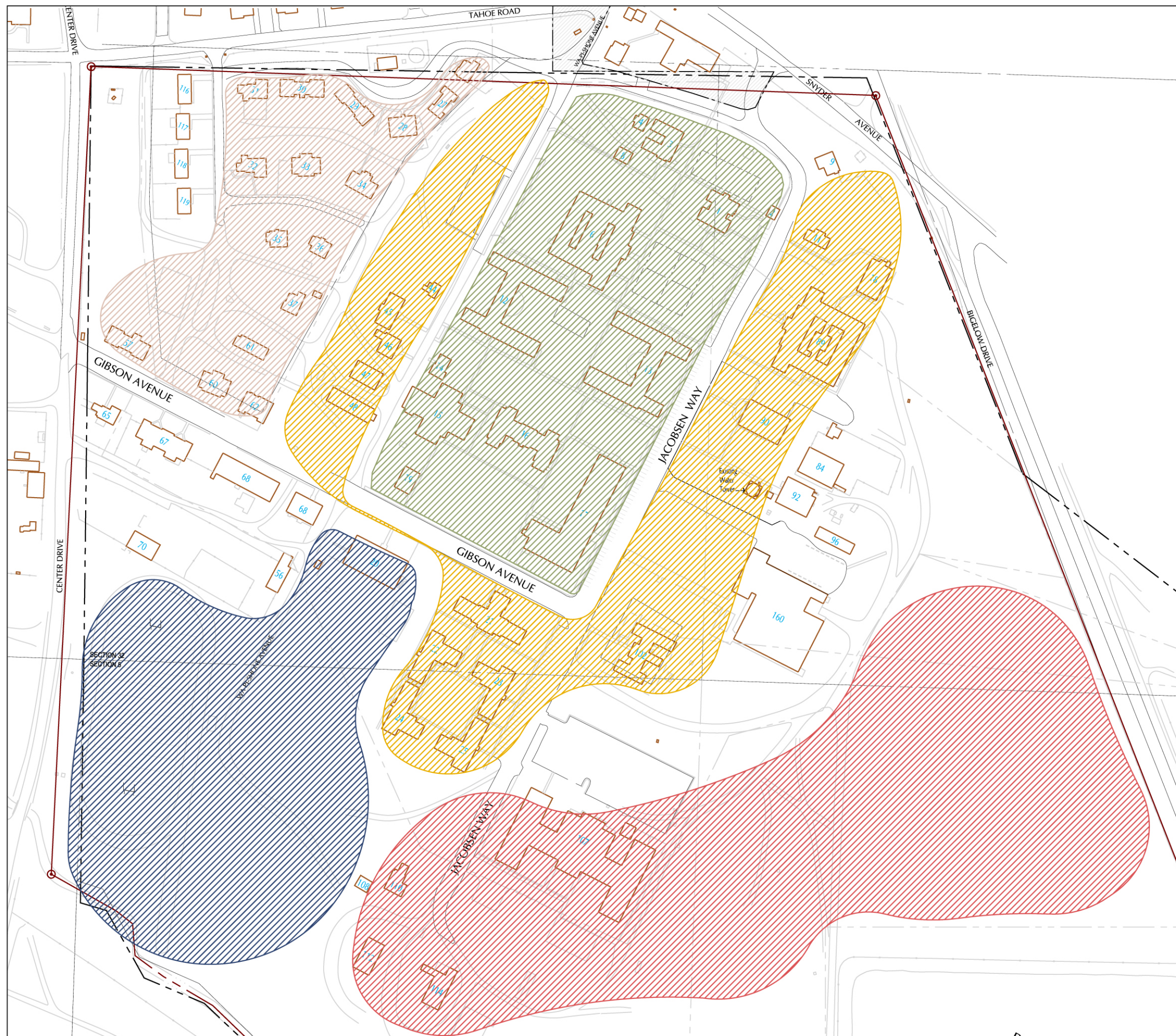





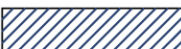

 OCCUPIED BUILDINGS AT TIME OF THIS REPORT

Data Source:
Nevada State Public Works 'Buildings listed by location', dated July 17, 2007

OCCUPIED BUILDINGS

AUGUST 31, 2009 CARSON CITY, NV

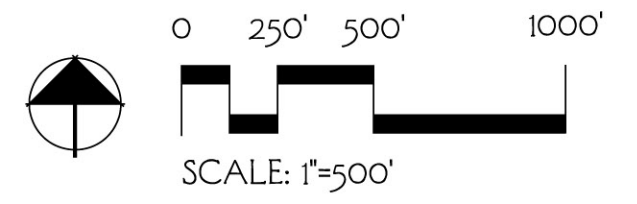


-  CENTRAL CORE (PEDESTRIAN ONLY)
-  FACING THE CENTRAL CORE
-  AGRICULTURAL AREA
-  ATHLETIC AREA
-  RESIDENTIAL AREA

The campus development resulted in district landscape zones associated with the building uses.

LANDSCAPE ZONES

AUGUST 31, 2009 CARSON CITY, NV



These four aerial photos illustrate the campus development patterns throughout the 20th century.



AERIAL PHOTOGRAPHS BY DATE

AUGUST 31, 2009

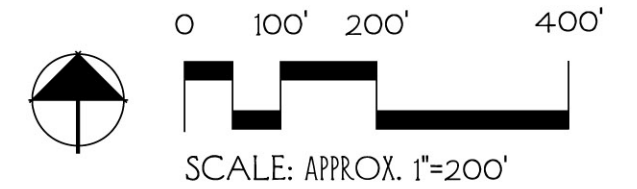
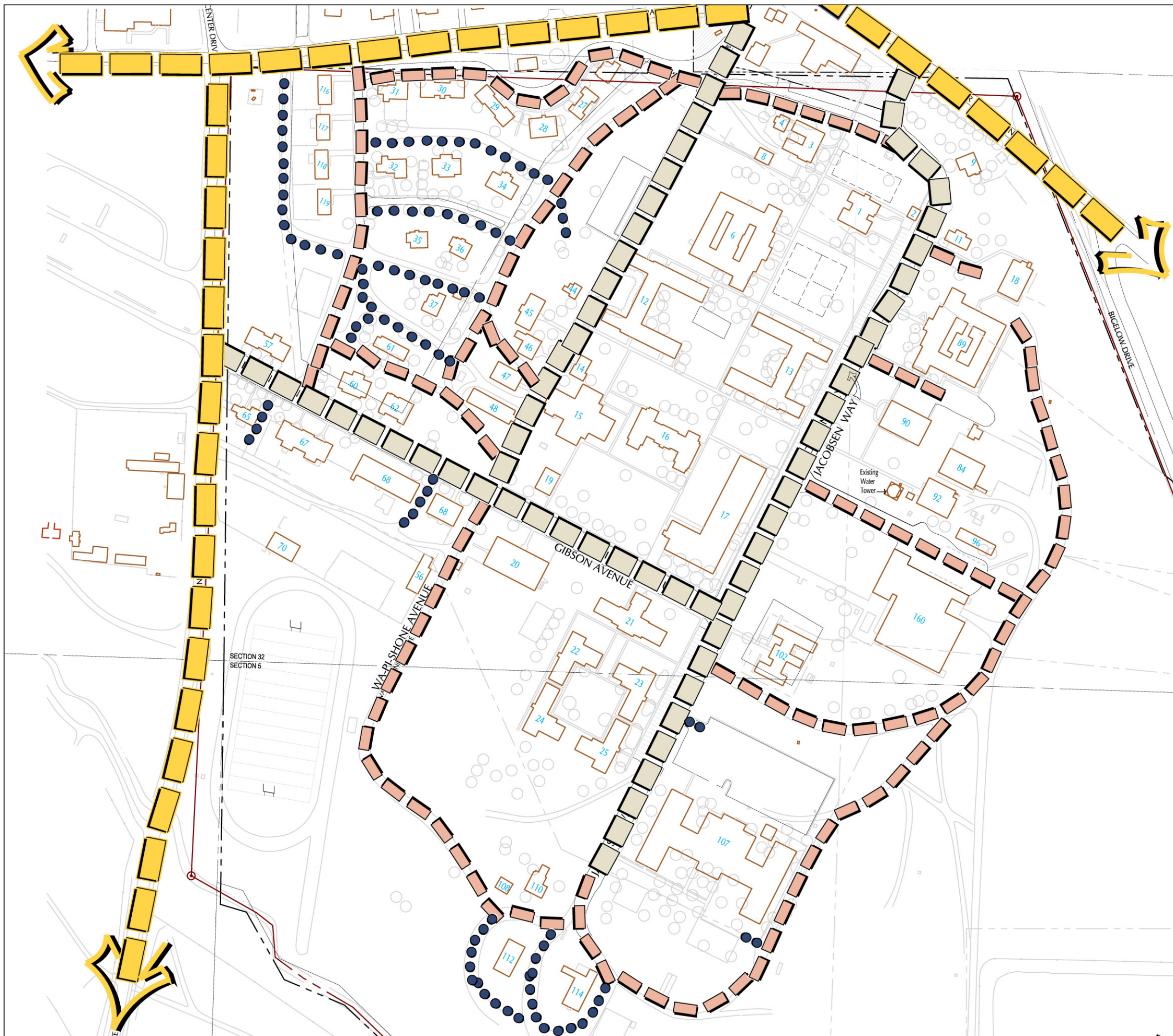
CARSON CITY, NV







**Wyss
Associates, Inc.**

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com



-  OFF-SITE ROADS AND HIGHWAYS:
Provides regional access to the campus.
-  PRIMARY ACCESS ROUTES:
Serve as collectors for service drives, residential streets and parking lots.
-  SECONDARY ACCESS ROUTES:
Through streets that connect to the Primary Access Route, and serve as convenient access to facility parking lots.
-  SERVICE ROADS AND DRIVES
Access to one to three buildings.

VEHICULAR CIRCULATION PATTERNS

AUGUST 31, 2009

CARSON CITY, NV



Typical Asphalt in Poor Condition - 2008



Typical Sidewalk in Poor Condition - 2008



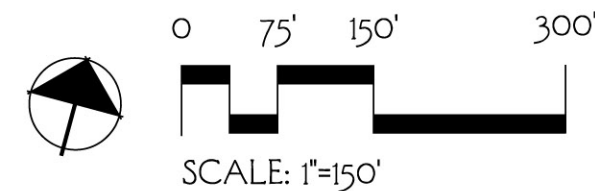
Typical Sidewalk in Good Condition - 2008



Typical Sidewalk in Good Condition - 2008



Typical Sidewalk in Fair Condition - 2007

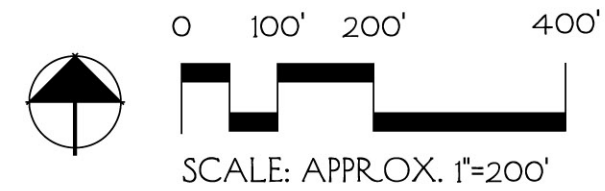


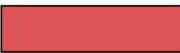



- POOR CONDITION**
i.e.; sidewalk deterioration due to tree roots, ground settlement, or just plain old age, needing repairs or improvement.
- FAIR CONDITION**
i.e.; moderate condition to be tracked on a "watch list" for possible repair or improvement needs within a timely manner.
- GOOD CONDITION**
i.e.; uniform material (asphalt or concrete), even surface with no ponding water, no trash/debris/dirt, no cracking/heaving/spalling, no tree roots or grass present, and having an overall aesthetically, pleasing appearance.

Note:
Interface with adjacent properties may be considered.

PEDESTRIAN SIDEWALKS AND SECONDARY PAVEMENT ANALYSIS

AUGUST 31, 2009 CARSON CITY, NV



- 
POOR CONDITION
 Non-uniform material, asphalt or concrete, repetitive instances of uneven surface or ponding within a 250 ft. distance, indications of problems left unattended to such as repetitive amounts of cracking, heaving or spalling, and generally having an appearance of instability and in need of immediate repairs i.e.; resurfacing, replacement.
- 
FAIR CONDITION
 Uniform material, asphalt or concrete, minor amounts of uneven surface or minor ponding within a 250 ft. distance, indications of impending problems, such as minor amounts of cracking, heaving or spalling, and generally having an appearance of stability but in need of timely repairs i.e.; patching.
- 
GOOD CONDITION
 Uniform material, asphalt or concrete, even surface with no ponding of water within a 250 ft. distance, no cracking, heaving or spalling and having an overall appearance of stability.
- 
EXISTING DIRT SURFACE
 Many linear low spots, eroded and collecting water



Typical Roadway in Fair Condition - 2008



Typical Roadway in Poor Condition - 2008



Typical Roadway in Fair Condition - 2008



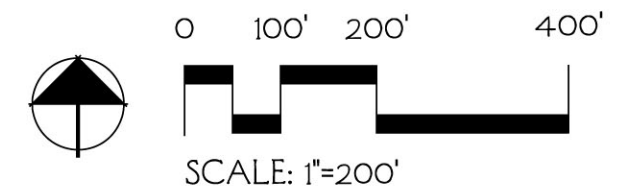
Typical Roadway in Fair Condition - 2008



Typical Roadway in Good Condition - 2008

PARKING LOTS AND ROADWAY ANALYSIS

AUGUST 31, 2009 CARSON CITY, NV



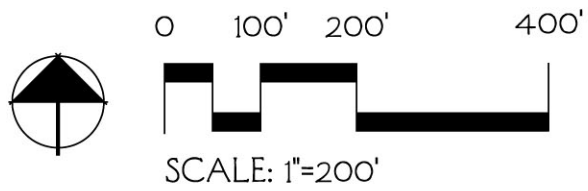
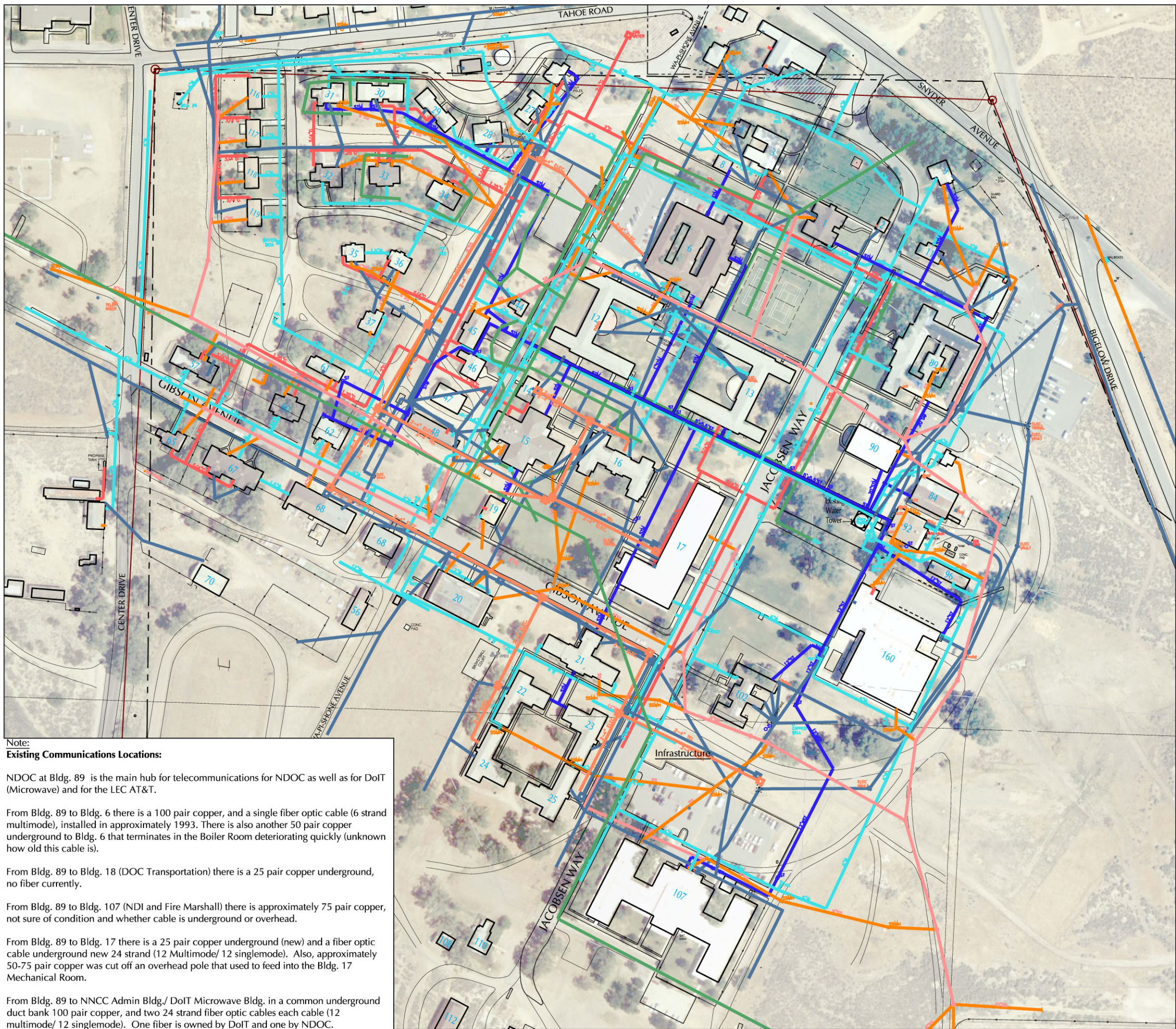
- POOR CONDITION -**
i.e.; extreme pruning needs due to neglect, poor structure, insect/enviromental damage or disease
- FAIR CONDITION -**
i.e.; moderate pruning needs required
- GOOD CONDITION -**
i.e.; minimal to no pruning needs

- Notes:**
1. Health condition of trees as of October 29, 2007.
 2. Ground evaluation only (bucket truck was not used for aerial analysis).
 3. This Vegetation Analysis should be updated annually.

VEGETATION ANALYSIS

CARSON CITY, NV

AUGUST 31, 2009



EXISTING UTILITIES PLAN KEY

- Electrical
- Water
- Sanitary
- Storm Sewer
- Natural Gas
- Steam
- Irrigation
- Communications - See Note, this Plate

Note:
Steam tunnels should be preserved, and surface paving should have necessary structural considerations.

Note:
Existing Communications Locations:

NDOC at Bldg. 89 is the main hub for telecommunications for NDOC as well as for DoIT (Microwave) and for the LEC AT&T.

From Bldg. 89 to Bldg. 6 there is a 100 pair copper, and a single fiber optic cable (6 strand multimode), installed in approximately 1993. There is also another 50 pair copper underground to Bldg. 6 that terminates in the Boiler Room deteriorating quickly (unknown how old this cable is).

From Bldg. 89 to Bldg. 18 (DOC Transportation) there is a 25 pair copper underground, no fiber currently.

From Bldg. 89 to Bldg. 107 (NDI and Fire Marshall) there is approximately 75 pair copper, not sure of condition and whether cable is underground or overhead.

From Bldg. 89 to Bldg. 17 there is a 25 pair copper underground (new) and a fiber optic cable underground new 24 strand (12 Multimode/ 12 singlemode). Also, approximately 50-75 pair copper was cut off an overhead pole that used to feed into the Bldg. 17 Mechanical Room.

From Bldg. 89 to NNCC Admin Bldg./ DoIT Microwave Bldg. in a common underground duct bank 100 pair copper, and two 24 strand fiber optic cables each cable (12 multimode/ 12 singlemode). One fiber is owned by DoIT and one by NDOC.

EXISTING
INFRASTRUCTURE

Section B: Treatment Plan

Stewart Indian School Cultural Landscape Report *Volume III of III Preservation Approach and Treatment Plan*

AUGUST 31, 2009

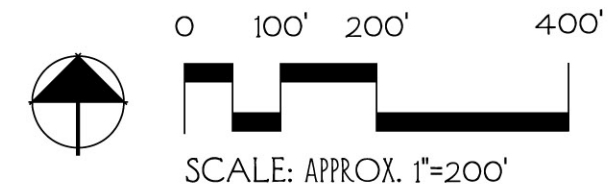
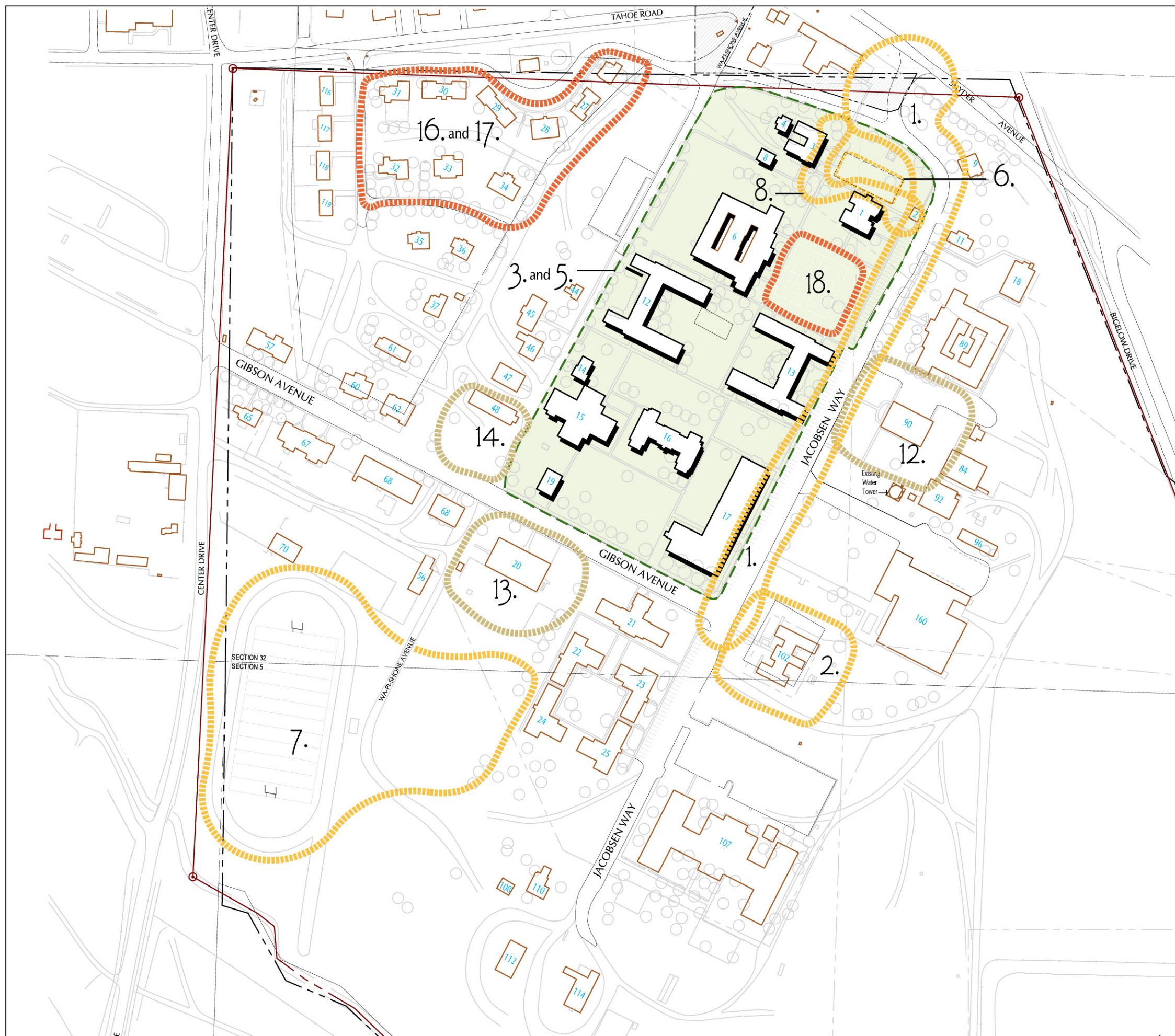
Prepared by:



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com



PROJECTS:

1. Entry Gateway Corridor & Entrance Gate- 1938
2. School Infirmary Site (Bldg. No. 102) - 1904
3. Interpretive Loop / Sidewalk Improvements
4. 'Guide by Cell' Walking Tour & Interpretive Singage
5. Central Core Green Space and Perimeter Parking
6. Sculpture Garden and Pool Area Interpretation - 1938 to Present
7. Relocation of Powwow Grounds and New Public Recreation Park - Post 1958
8. Floral Demonstration Area - 1938 Cross-Section
9. Site Lighting - Typical Lamp Standard
10. Tree Replacement Program - 1938 and 1958
11. Site Signage: Directional and Interpretive - Various Eras
12. Original Auditorium Site (Bldg. No. 90) - 1938
13. Original Gymnasium Site (Bldg. No. 20) - 1938
14. Original Commissary Site (Bldg. No. 48) - 1938
15. Power Lines and Poles - Modern Standard - Underground
16. Residential Streetscape - 1938
17. Model Residential Site - 1938
18. Reintroduce Tennis Court(s) - 1938 and 1958

Note:
Projects 4, 9, 10, 11 and 15 are located throughout the site.

TREATMENT PLAN PROJECT LOCATIONS

AUGUST 31, 2009

CARSON CITY, NV

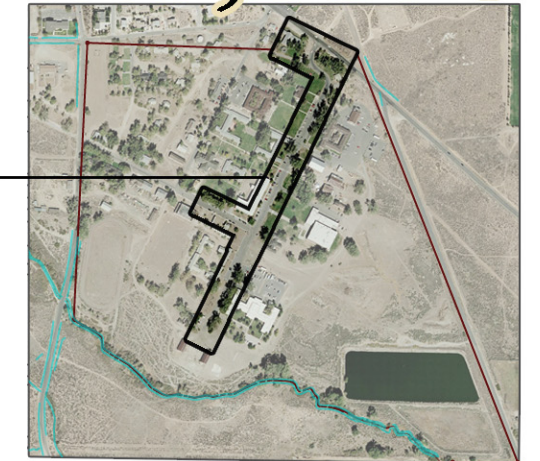


Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 1



Project Area

SITE LOCATION MAP



SCALE: 1"=1200'



CIRCA 1938 AERIAL CORRIDOR PLAN

Treelined Roadway - Circa 1938:



Note: Tree variety considerations are listed on the accompanying Tree Management Program Sheet

ENTRY GATEWAY CORRIDOR AND ENTRANCE GATE

AUGUST 31, 2009

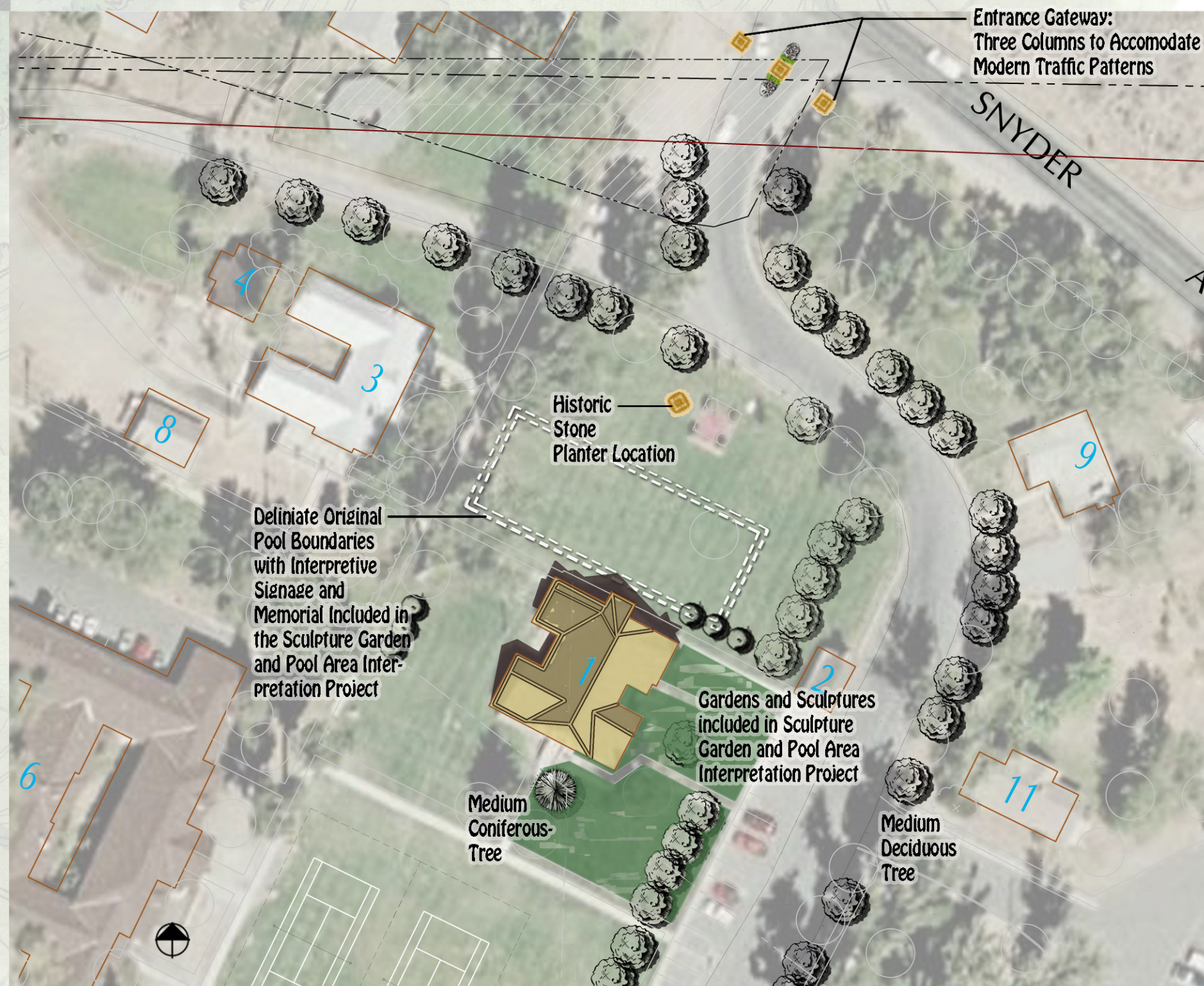
CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

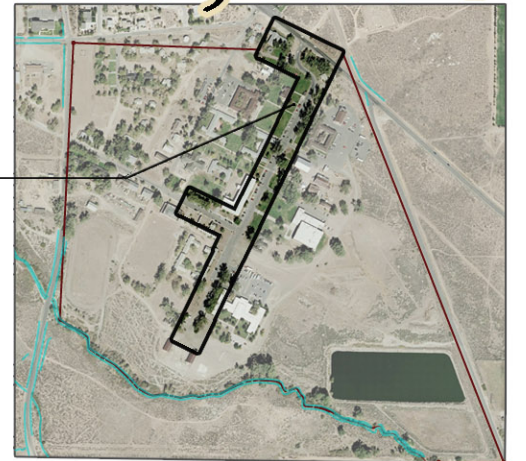
N.T.S.



ENLARGED ENTRY GATEWAY CORRIDOR AND ENTRANCE GATE PLAN

SCALE: 1"=60'

PROJECT 1



Project Area

SITE LOCATION MAP

SCALE: 1"=1200'

ENTRY GATEWAY CORRIDOR AND ENTRANCE GATE

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

HISTORIC:



CURRENT:

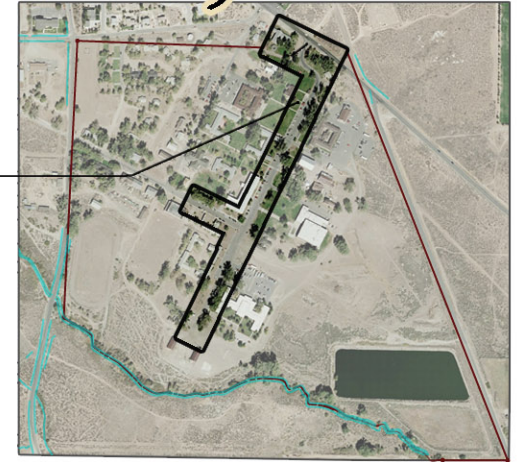


SIMULATION:



PROJECT 1

Project Area



SITE LOCATION MAP



SCALE: 1"=1200'

ENTRY GATEWAY CORRIDOR AND ENTRANCE GATE

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 2



Project Area

SITE LOCATION MAP

SCALE: 1"=1200'

CURRENT:



SIMULATION



SCHOOL INFIRMARY RENOVATION SITE PLAN

SCALE: 1"=100'

SCHOOL INFIRMARY
SITE
(BLDG. No. 102)

CARSON CITY, NV

REVISION 2009



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 3

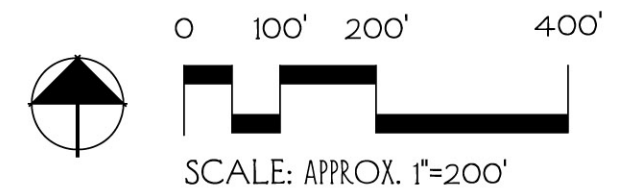


Possible Interpretive Loop View - 2007



See Plate #7: 'Pedestrian Sidewalks and Secondary Pavement Analysis' for Existing Conditions Descriptions.

- POOR CONDITION
- FAIR CONDITION
- GOOD CONDITION



INTERPRETIVE LOOP / SIDEWALK IMPROVEMENTS

CARSON CITY, NV

AUGUST 31, 2009



**Wyss
Associates, Inc.**

Landscape Architecture - Historic Preservation - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

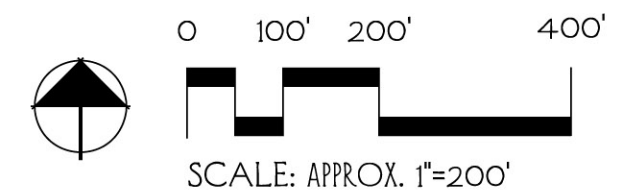
PROJECT 4

(COMPLETED)



'Guide by Cell' Interpretive Signage - 2009

■■■■■ 'GUIDE BY CELL' WALKING TOUR
(COMPLETED)



GUIDE BY CELL WALKING TOUR AND INTERPRETIVE SIGNAGE

AUGUST 31, 2009

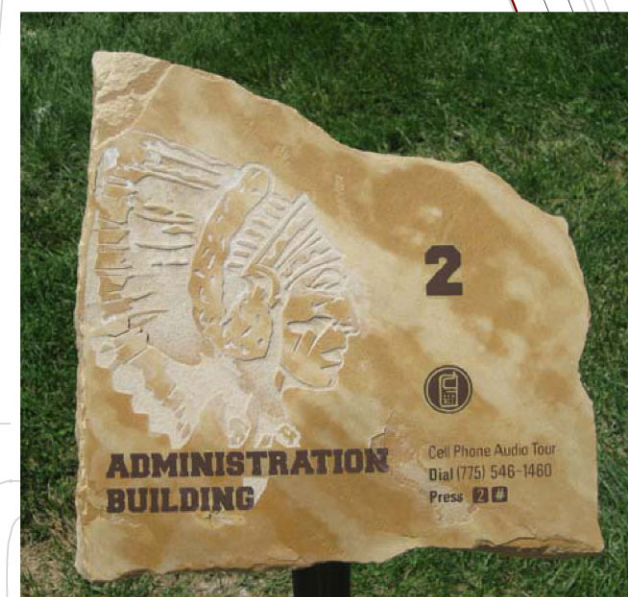
CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design

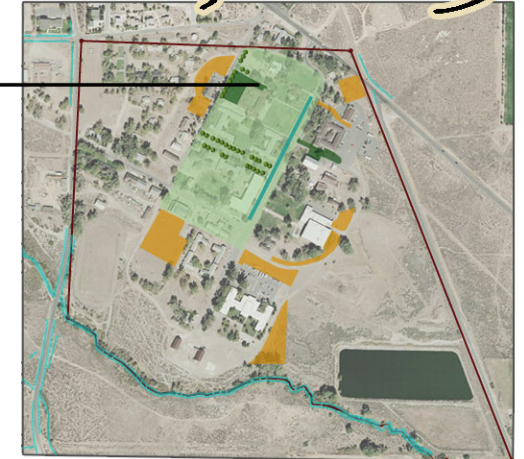
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com



'Guide by Cell' Interpretive Signage - 2009

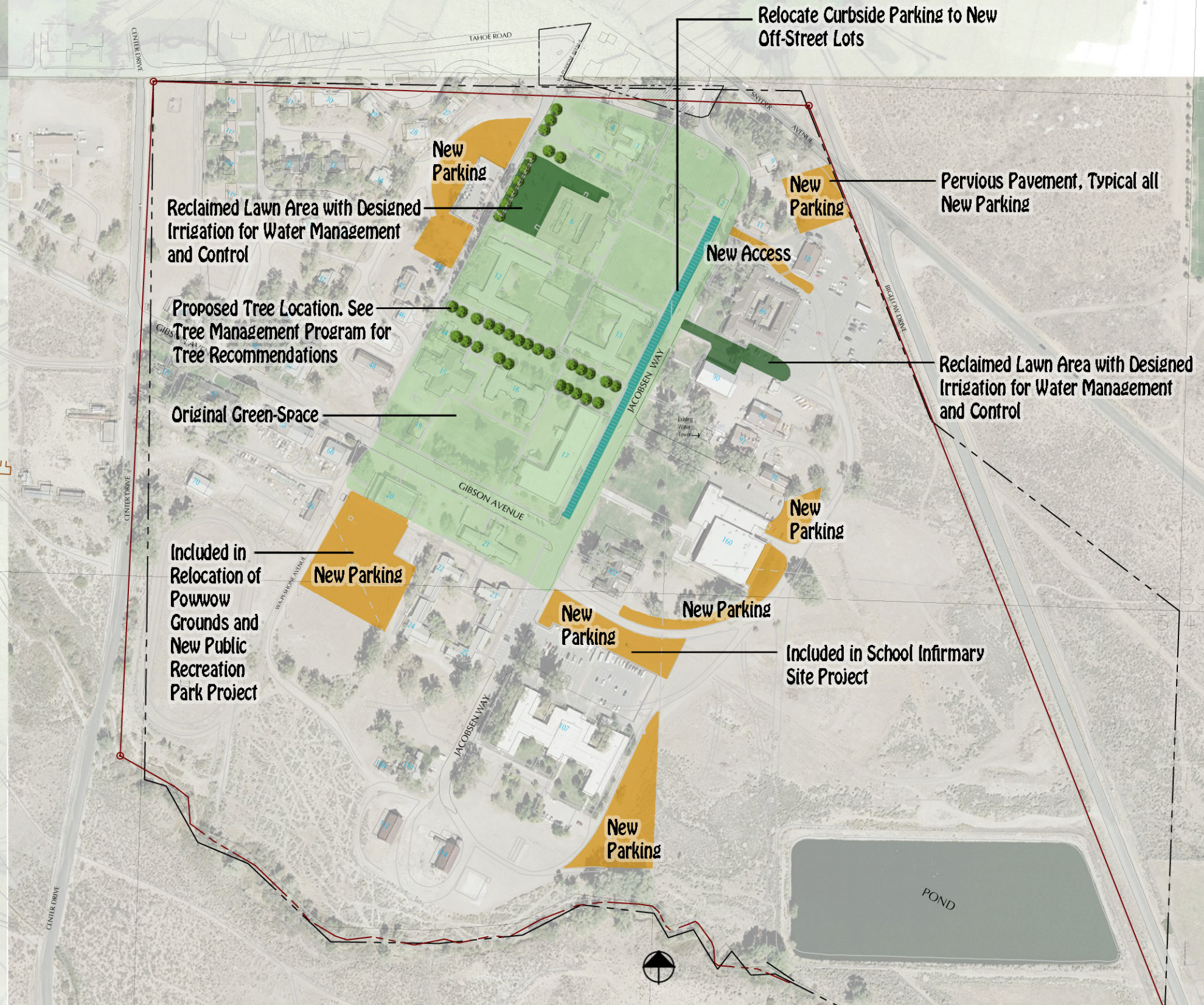
PROJECT 5

Project Area



SITE LOCATION MAP

SCALE: 1"=1200'



CENTRAL CORE GREEN-SPACE AND PERIMETER PARKING PLAN

SCALE: 1"=300'

CENTRAL CORE GREEN-SPACE AND PERIMETER PARKING

AUGUST 31, 2009

CARSON CITY, NV

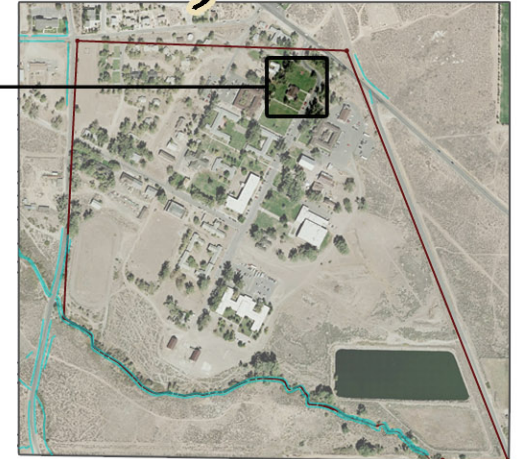


Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 6

Project Area



SITE LOCATION MAP



SCALE: 1"=1200'

Children at Pool - Circa 1930's:



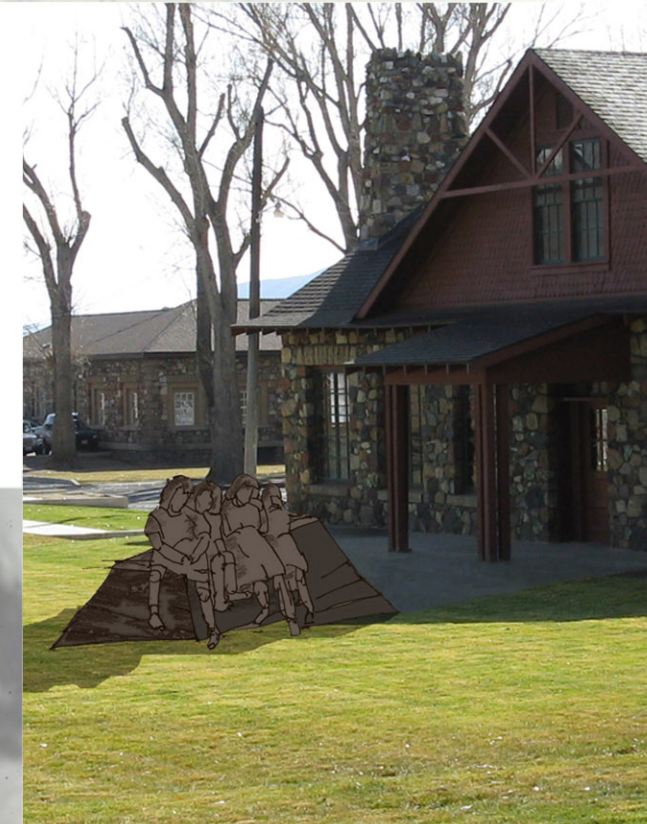
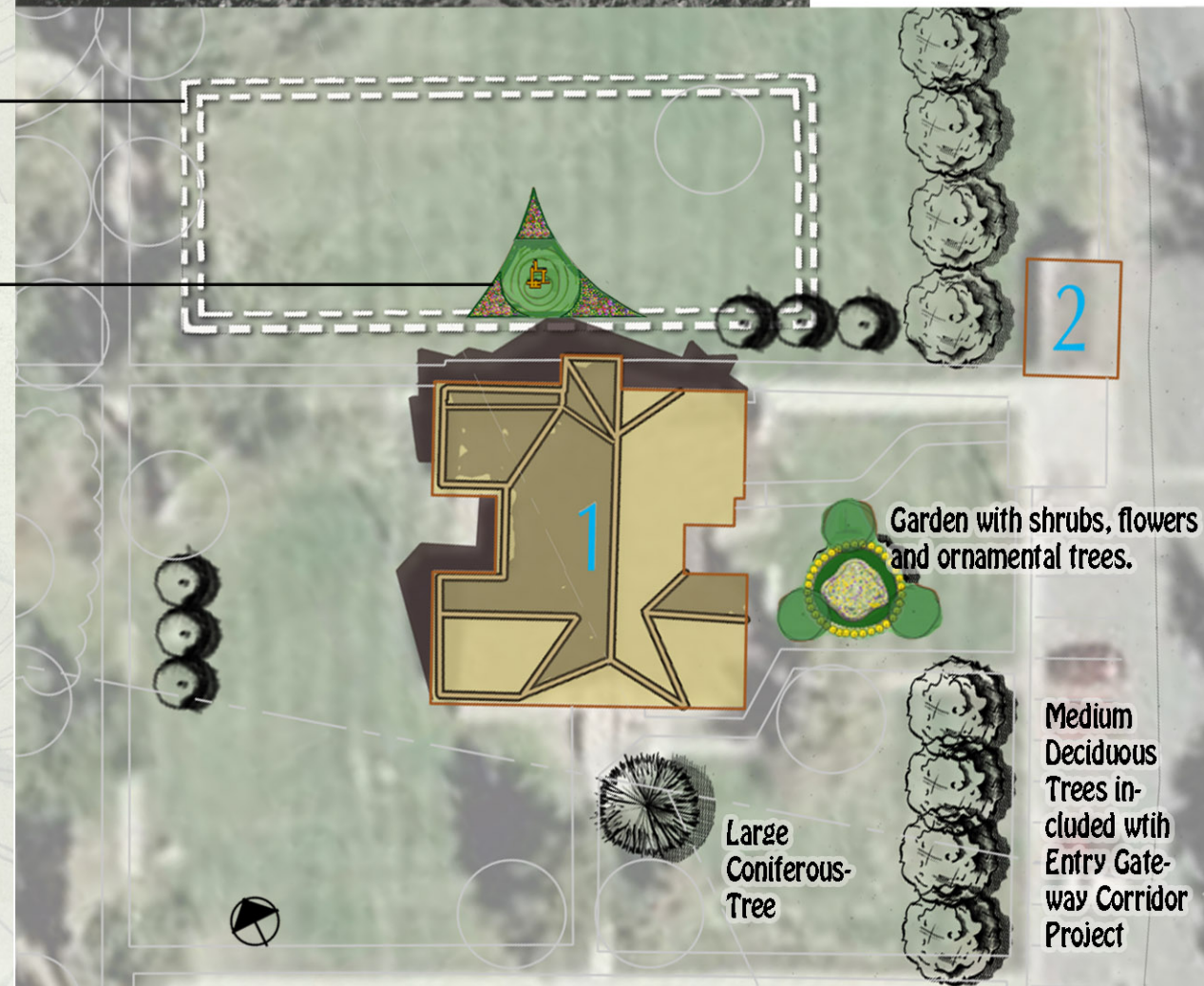
Children at Pool - Circa 1930

Gardens - Date Unknown



Pool Boundaries Identified with Ground Level Concrete Band

Sculpture Garden with Statues Memorializing the Trades Learned at Stewart Indian School.



Sculpture Simulation

Note: The alumni memorial sculptures could be displayed in a sculpture garden located near Building No. 1 and include a boy holding a shovel, a girl doing pottery, etc.

ENLARGED SCULPTURE GARDEN PLAN

SCALE: 1"=30'

SCULPTURE GARDEN AND POOL AREA INTERPRETATION

AUGUST 31, 2009

CARSON CITY, NV

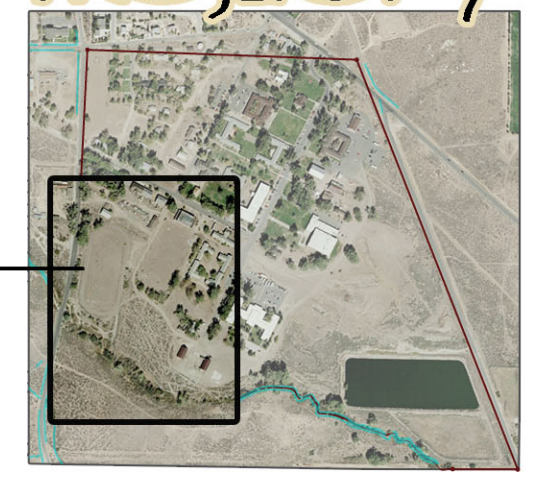


Wyss
Associates, Inc.

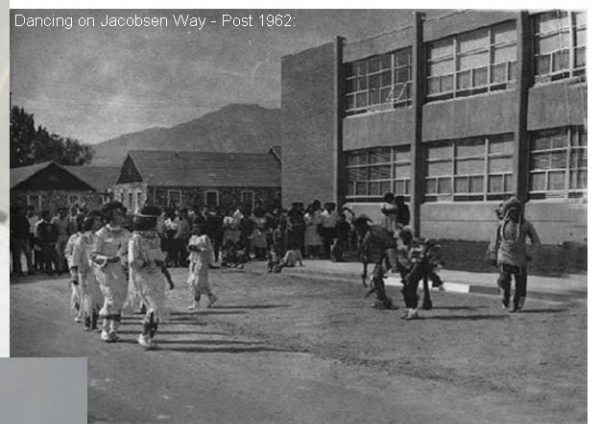
Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com



PROJECT 7



SITE LOCATION MAP
SCALE: 1"=1200'



RELOCATION OF POWWOW GROUNDS AND NEW PUBLIC RECREATION PARK



POWWOW CENTER AT THE STEWART FACILITY

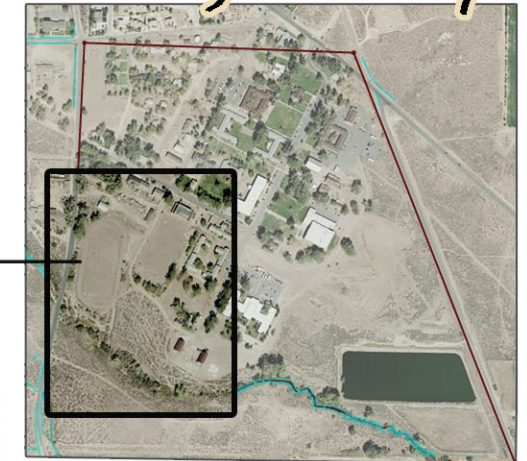


MULTIPLE USE FIELDS AT THE STEWART FACILITY
(WHEN POWWOW NOT IN USE)

Historic Renovation of Field Area in an Eco-Friendly Manner:

1. Porous Paving for the Parking Lot
2. Use of Irrigated Field for Overflow Parking
3. Direct Link to Regional Trail System and Use of Secure Bicycle Parking
4. Shade Trees for Carbon Collection (also Reminiscent of Historic Campus)
5. Dispersed Storm Water Detention
6. 'Protect the Night Sky' Lighting
7. Use of Portable Bleachers to Maximize Product Use in Multiple Locations
8. Use of Low Water Turf Species
9. Use of Recycled Water for Irrigation
10. Weather Controls to Monitor Irrigation Water Usage
11. Reclaims Historic Recreation Area instead of developing some other Undisturbed Site
12. Accommodates Mass Transportation
13. Recycles Unoccupied Structure (Building 70) for Rest Rooms instead of New Construction
14. Formally Abandoning Three- 12" Existing Wells at the Site
15. Cinder Track for Porous Track Surface

PROJECT 7



SITE LOCATION MAP

SCALE: 1"=1200'

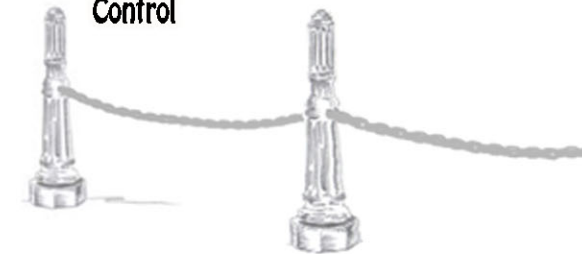


Track and Field Location - Current Condition



Powwow Relocation - Simulation

Bollard and Chain Perimeter Control



RELOCATION OF POWWOW GROUNDS AND NEW PUBLIC RECREATION PARK

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

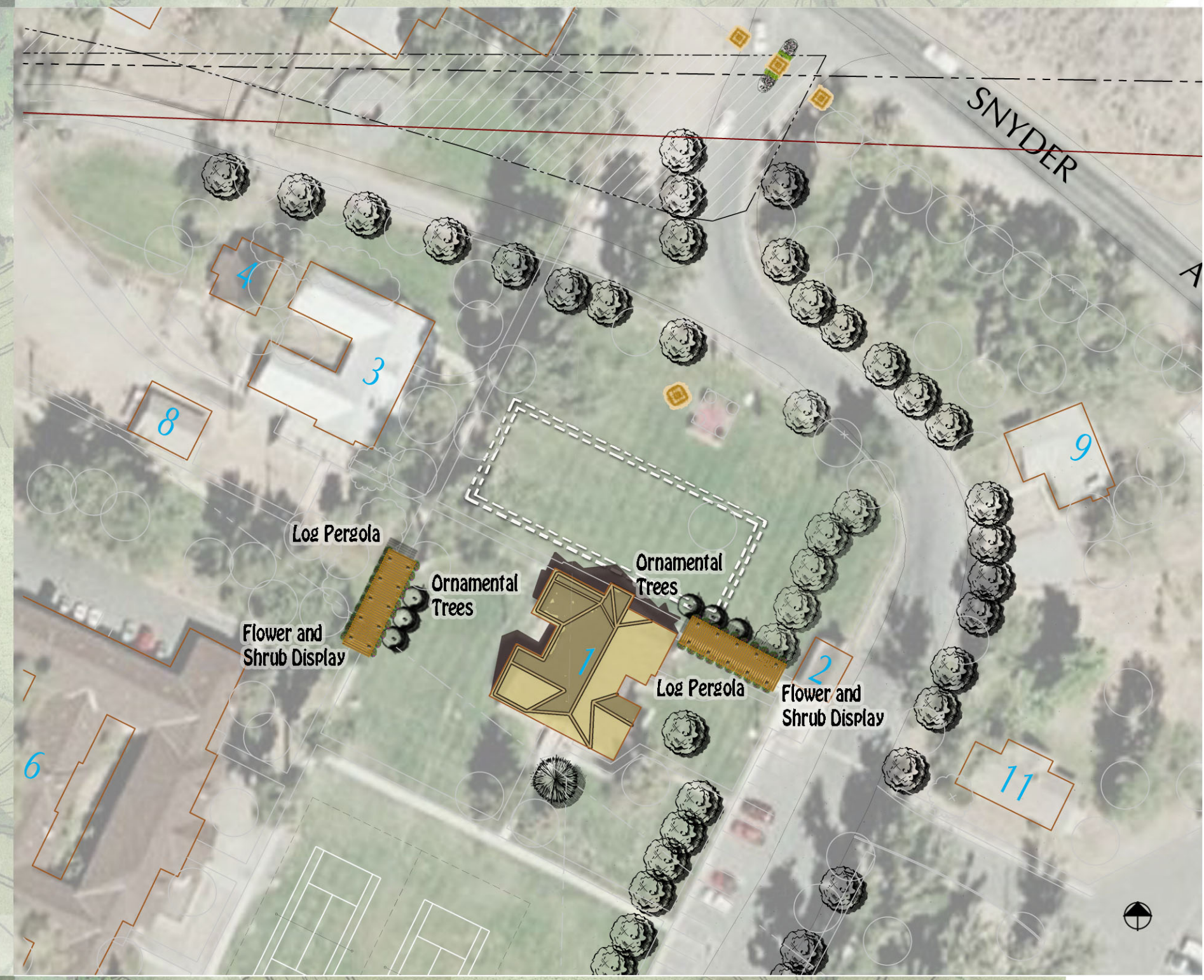
PROJECT 8

Project Area



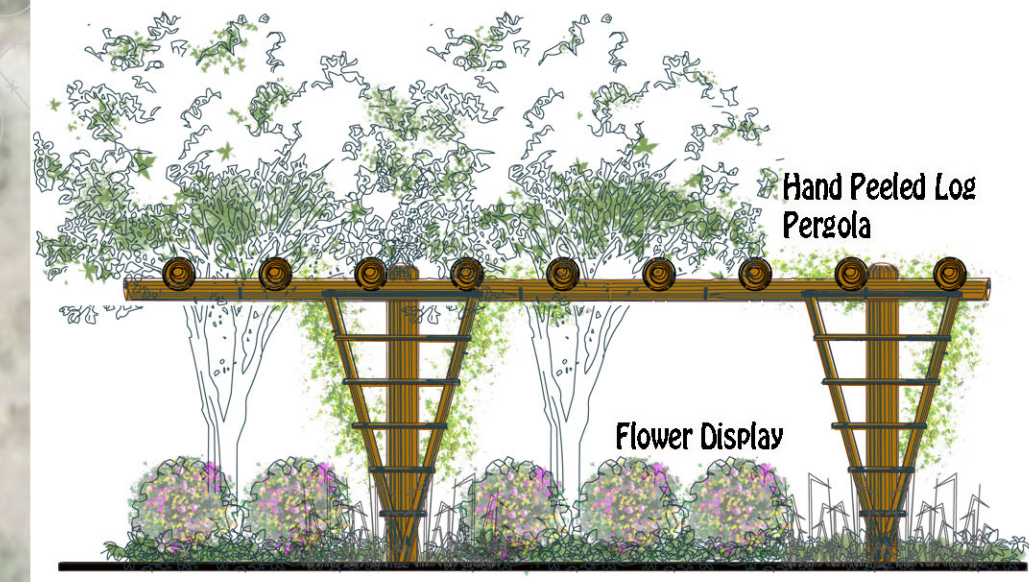
SITE LOCATION MAP

SCALE: 1"=1200'



ENLARGED ENTRY GATEWAY CORRIDOR AND ENTRANCE GATE PLAN

SCALE: 1"=60'



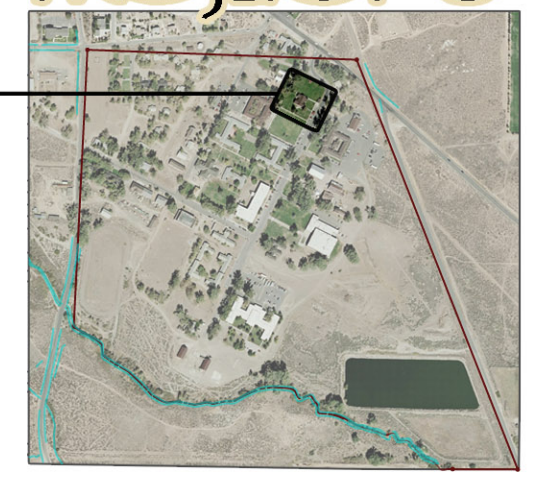
FLORAL DEMONSTRATION AREA

AUGUST 31, 2009

CARSON CITY, NV

PROJECT 8

Project Area



SITE LOCATION MAP



SCALE: 1"=1200'

HISTORIC:



CURRENT:



SIMULATION:



FLORAL DEMONSTRATION AREA

AUGUST 31, 2009

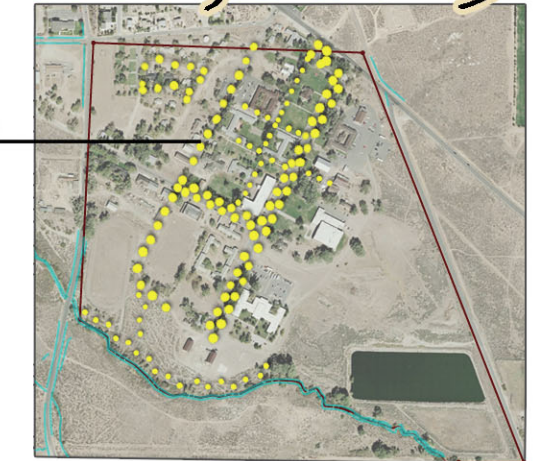
CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 9



SITE LOCATION MAP

SCALE: 1"=1200'

Project Area

- Typical Pedestrian Light Standard
- Typical Street Light Standard

Note:
Trail Lighting shown along Clear Creek included in Relocation of Powwow Grounds and New Public Recreation Park Project

Street Lighting shown in the Residential Area is included in the Residential Streetscape Project

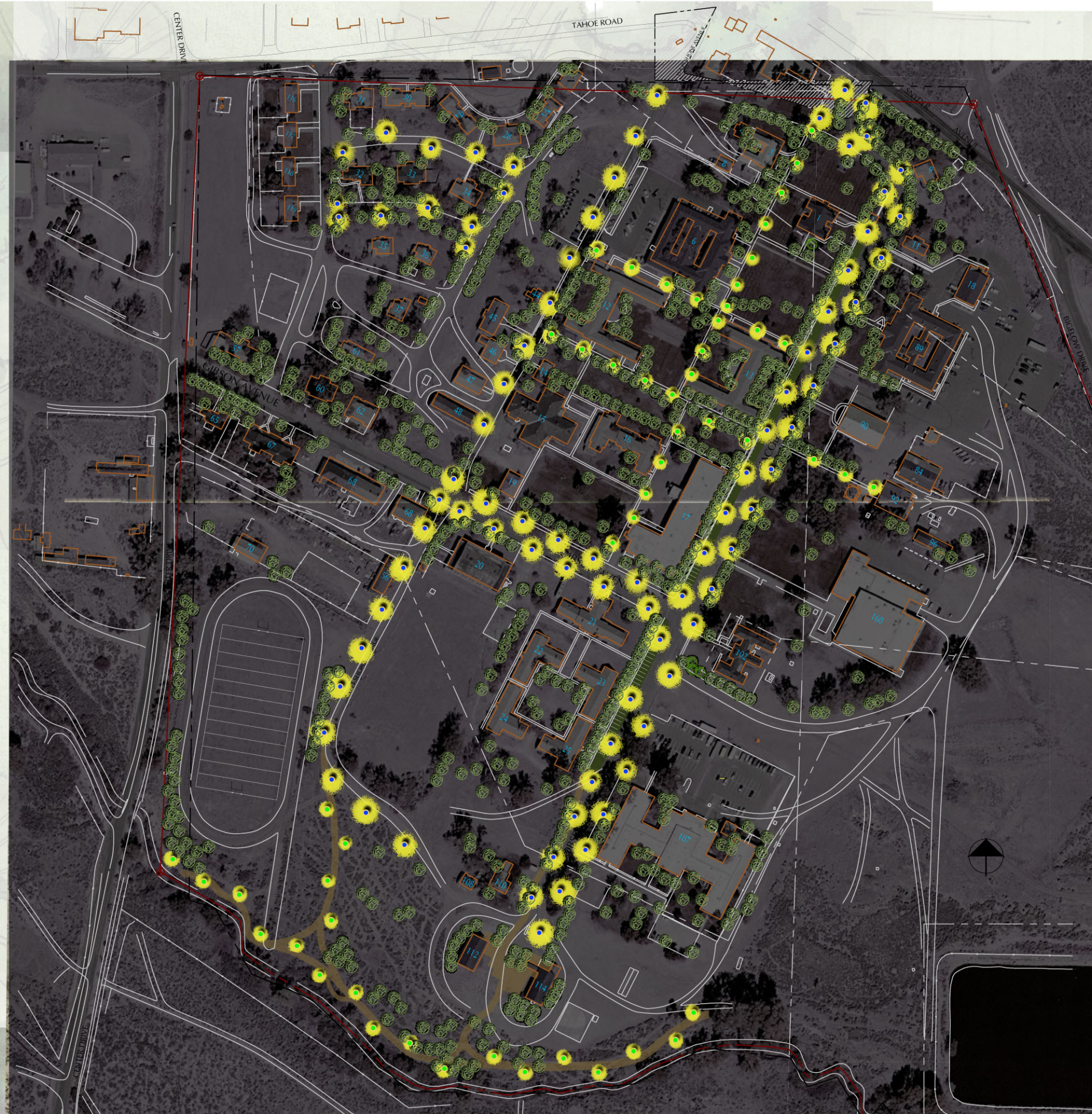
SITE LIGHTING

AUGUST 31, 2009

CARSON CITY, NV

Wyss Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com



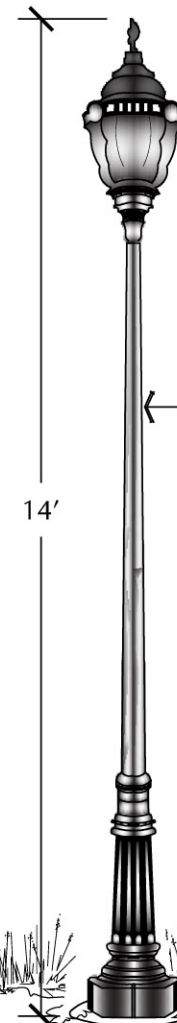
NIGHT TIME SIMULATION LIGHTING PLAN

SCALE: 1"=240'

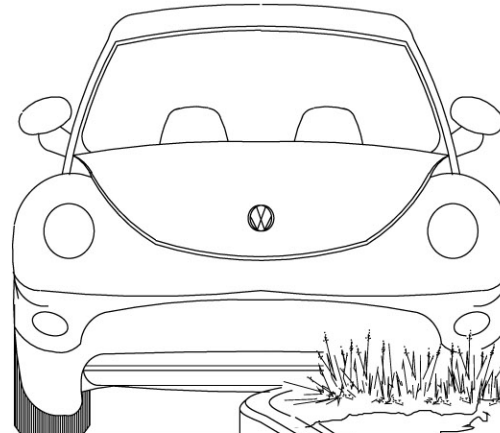
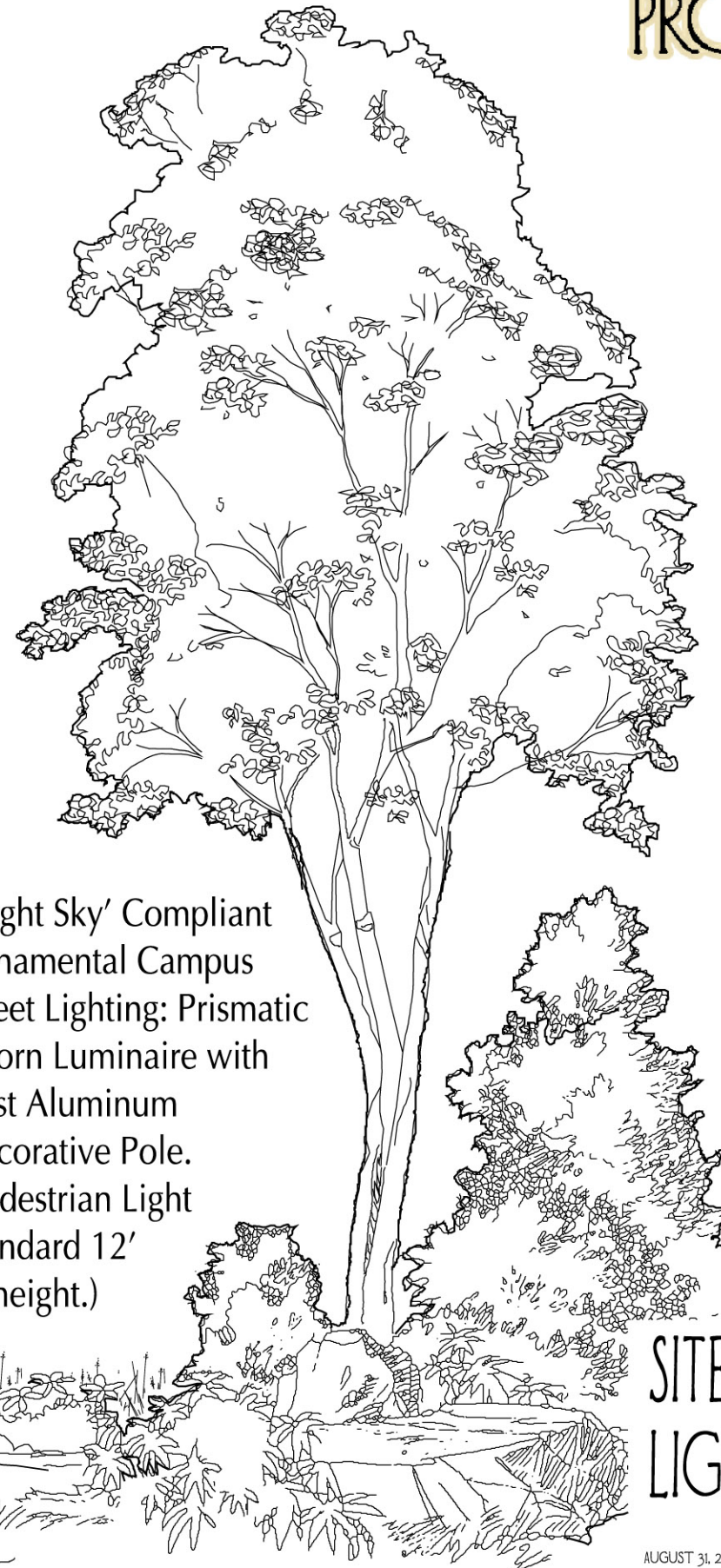
Current Light Standard located
in a parking lot in the
southeastern portion of the
Stewart Facility Site.



Current Light Standard located
in front of Building No. 48



'Night Sky' Compliant
Ornamental Campus
Street Lighting: Prismatic
Acorn Luminaire with
Cast Aluminum
Decorative Pole.
(Pedestrian Light
Standard 12'
in height.)



PROPOSED LIGHT STANDARD

SITE
LIGHTING

AUGUST 31, 2009

CARSON CITY, NV

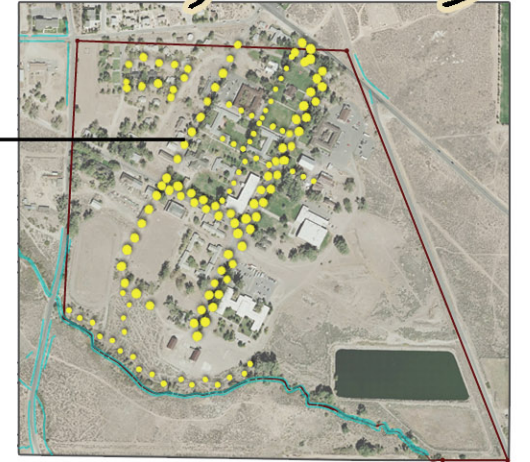


Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 9

Project Area



SITE LOCATION MAP



SCALE: 1"=1200'

CURRENT:



SIMULATION

SITE LIGHTING

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

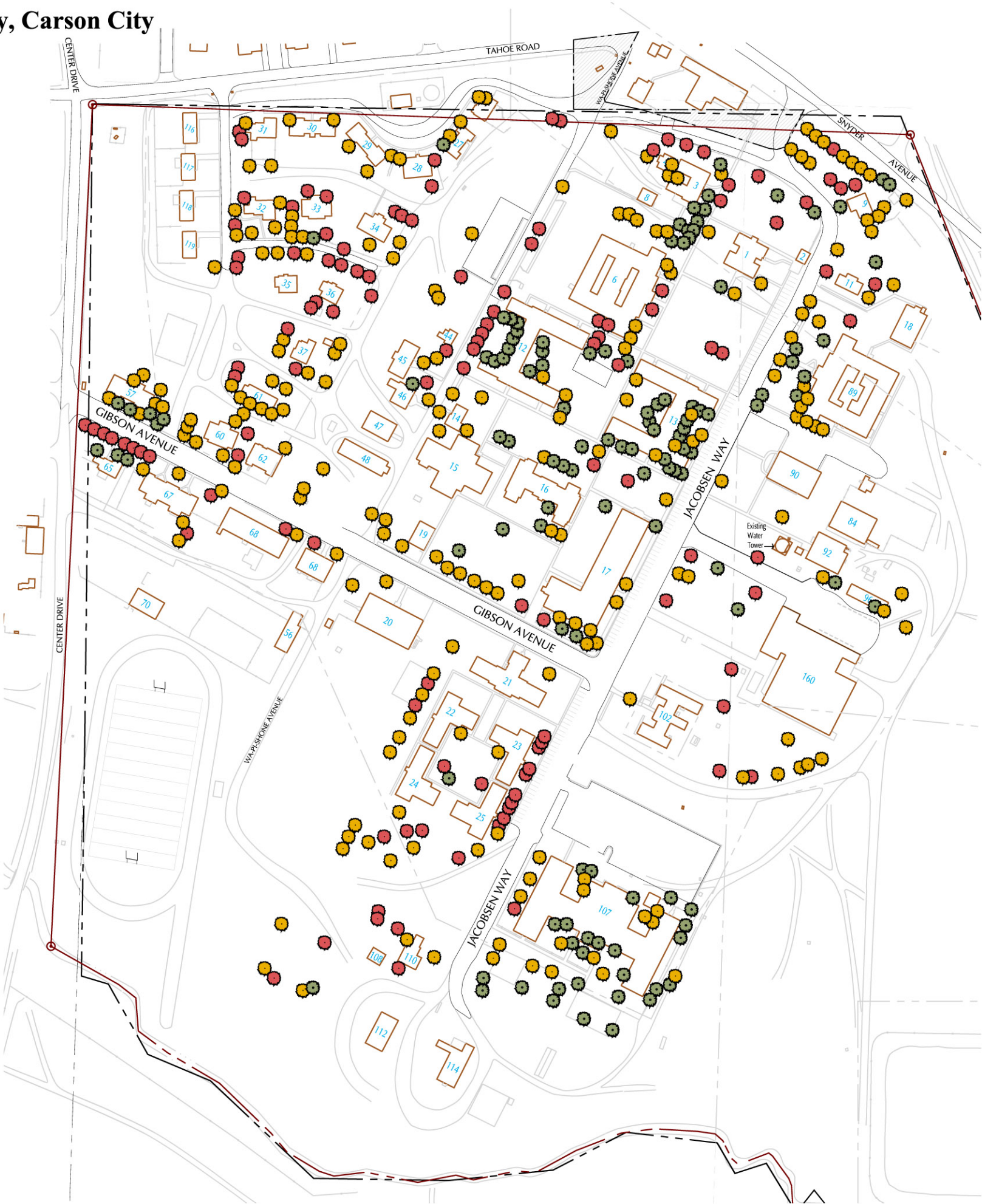
Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

Tree Recommendations for Stewart Facility, Carson City

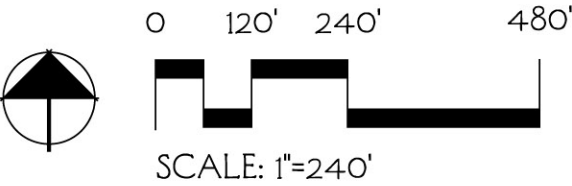
Botanical Name	Common Name	Comments
PERIMETER AREAS		
Catalpa speciosa	Western Catalpa	unique shape, flowers, pod, character tree
Fraxinus americana 'Junginger'	Autumn Purple Ash	most site trees are Green Ash species however they are the most susceptible to aphids
Fraxinus pennsylvanica 'Urbanite'	Urbanite Ash	a Green Ash but excellent branch structure and reputation
Populus canadensis	Carolina Poplar	seedless, need plenty of irrigation
Ulmus 'Frontier'	Frontier Elm	low water demand, insect resistant, new varieties
Ulmus japonica x wilsoniana 'Morton'	Accolade Elm	" "
Ulmus wilsoniana 'Prospector'	Prospector Elm	" "
Platanus acerifolia	London Planetree	large, structural tree
Robina pseudoacacia	Black Locust	recommend 2" caliper at installation to insure for good branching structure

PARKING LOTS		
Acer pseudoplatanoides	Sycamore Maple	
Acer saccharum 'Green Mountain'	Green Mt. Maple	
Fraxinus americana 'Junginger'	Autumn Purple Ash	
Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	
Gleditsia triacanthos 'Skycole'	Skyline Honeylocust	
Platanus acerifolia	London Planetree	

INTERIOR LARGE TREES		
Catalpa speciosa	Western Catalpa	
Platanus acerifolia	London Planetree	
Quercus robur	English Oak	
Quercus rubra	Red Oak	
Tilia cordata 'Greenspire'	'Greenspire' Linden	
ACCENT TREES		
Acer negundo 'Sensation'	Sensation Box Elder	
Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	
Malus sp.	Crabapple Varieties	specify only those trees with 'excellent' fireblight resistance, mildew resistance, USDA Zone 4 or below



PROJECT 10



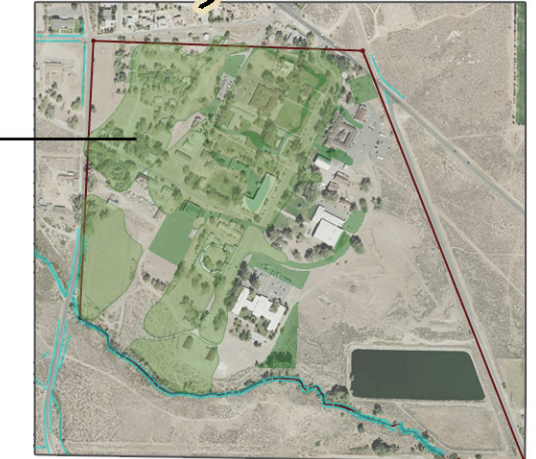
Tree Replacements occur only on an 'As Needed' basis.

- Existing Conditions (2008):
- POOR CONDITION -
i.e.; extreme pruning needs due to neglect, poor structure, insect/enviromental damage or disease
 - FAIR CONDITION -
i.e.; moderate pruning needs required
 - GOOD CONDITION -
i.e.; minimal to no pruning needs

Note: This plan should be updated annually.

TREE MANAGEMENT PROGRAM

PROJECT 10



SITE LOCATION MAP

SCALE: 1"=1200'

Project Area



NEW PLANTING PRIORITIZATION:

- 'A' Year 2010 to 2015
- 'B' Year 2015 to 2020
- 'C' After the year 2020

EXISTING TREE MAINTENANCE PRIORITIZATION:

- 'HIGH' High Priority Immediate Attention, Located in Highly Visible / High Priority Project Locations
- 'MEDIUM' Medium Priority, Located in Medium Visible / Medium Priority Project Locations
- 'LOW' Low Priority, Located in Low Visible / Low Priority Project Locations

TREE MANAGEMENT PROGRAM

AUGUST 31, 2009

CARSON CITY, NV

TREE MANAGEMENT PROGRAM SITE PLAN

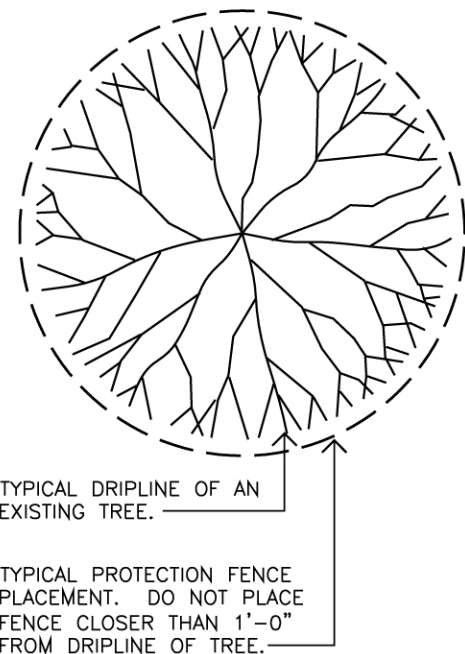
SCALE: 1"=240'



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

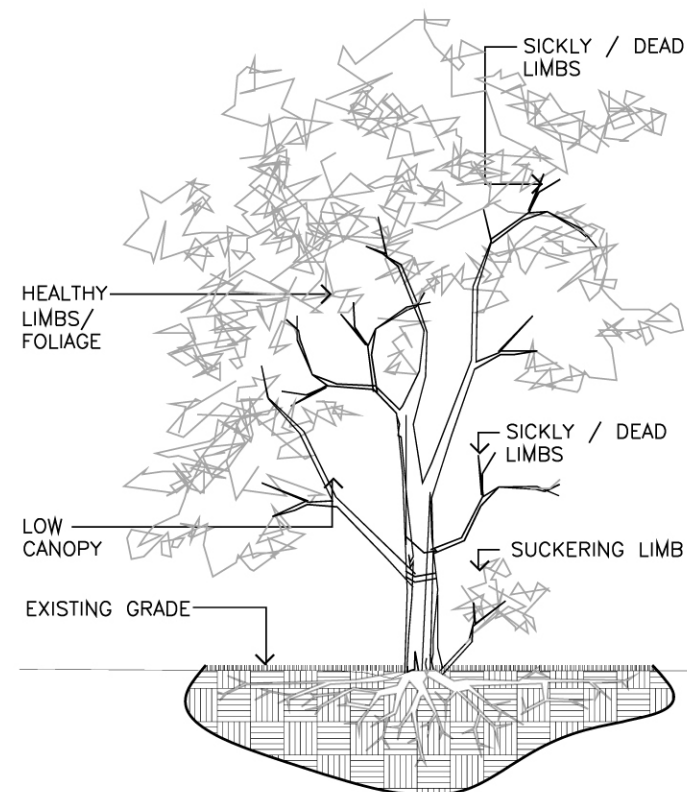
BEFORE FUTURE NEW CONSTRUCTION BEGINS, TREE PROTECTION FENCE SHALL BE IN PLACE. FENCE SHALL BE A 48" HIGH PLASTIC SNOW FENCE, ORANGE IN COLOR, AND BE SECURED TO STEEL 'T' POSTS WITH 20 GA. WIRE.



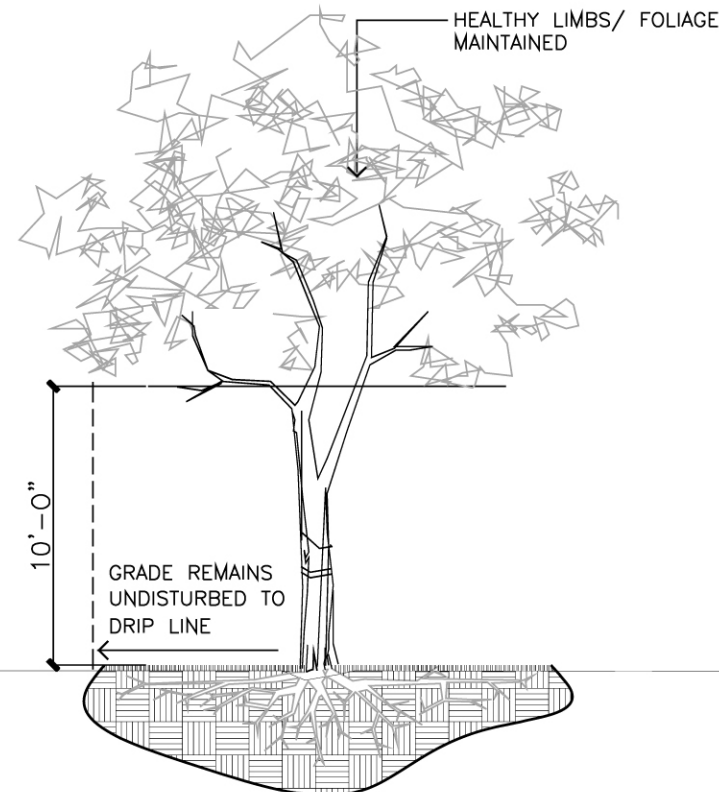
TREE PROTECTION FENCE PLACEMENT

SCALE: 1/8" = 1'-0"

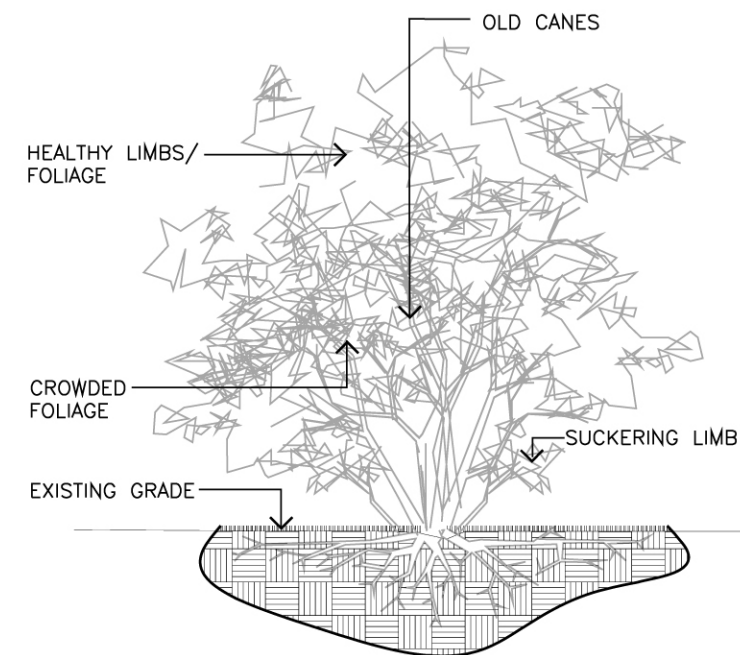
BEFORE



AFTER

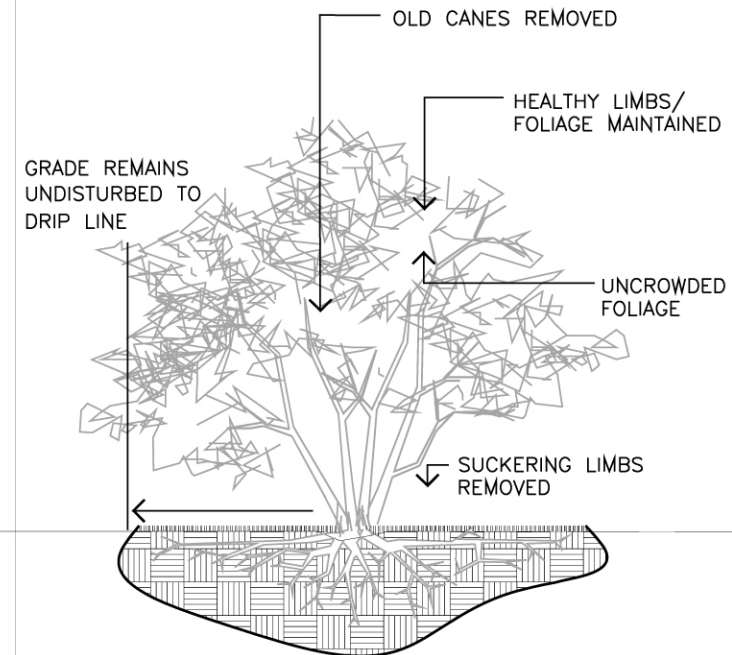


DECIDUOUS CROWN RAISING / CROWN CLEANING TYPICAL DETAIL



BEFORE

SHRUB PRUNING TYPICAL DETAIL



AFTER

PROJECT 10

NOTES:

1. During implementation of Landscape Preservation Recommendations, very detailed pruning and planting specifications should adhere to Best Management Practices. In addition, concise procedures should be illustrated in a tri-fold brochure for Landscape Contractors or Self-Help Programs to follow.
2. Anyone pruning a tree should be required to be a current ISA Certified Arborist or ISA Certified Tree Worker. This ensures that they have received training in proper pruning techniques. Have the site reviewed by a qualified individual other than the tree service that can provide recommendations as to what pruning is needed.
3. Anyone applying pesticides should be required to have a current Nevada Pest Control Operator's license, this is required through the NV St. Dept. of Agriculture. Have the site reviewed by a qualified individual other than the pest control company that can provide recommendations as to what control measures are needed.

TREE MANAGEMENT PROGRAM

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Parks & Recreation Design
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 11



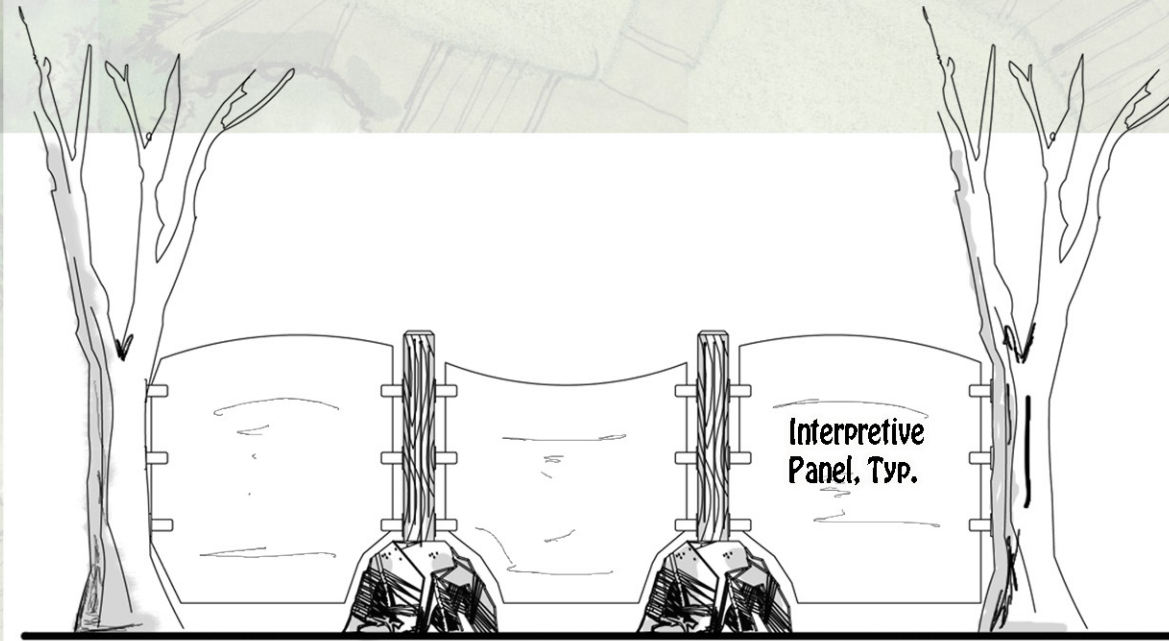
SITE LOCATION MAP

SCALE: 1"=1200'

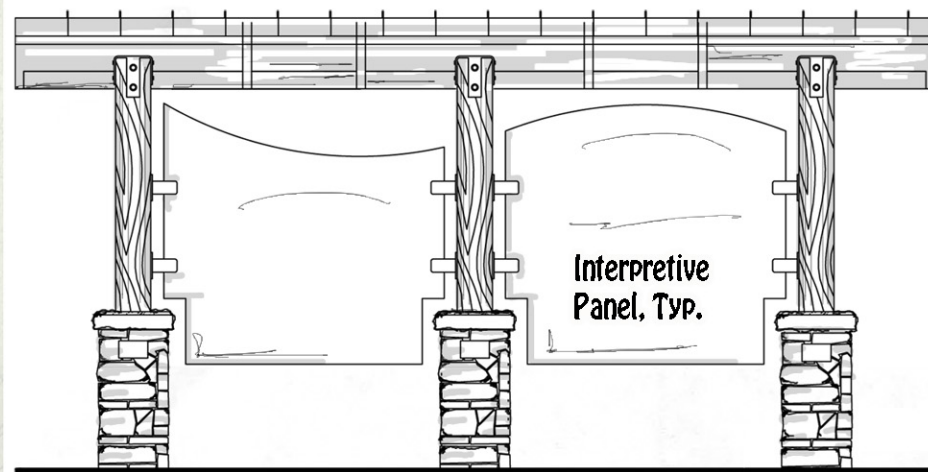
Project Area:
Throughout Site, to
be determined



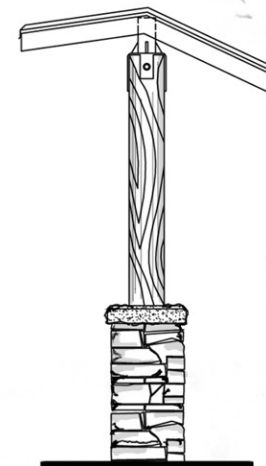
Interpretive Sign



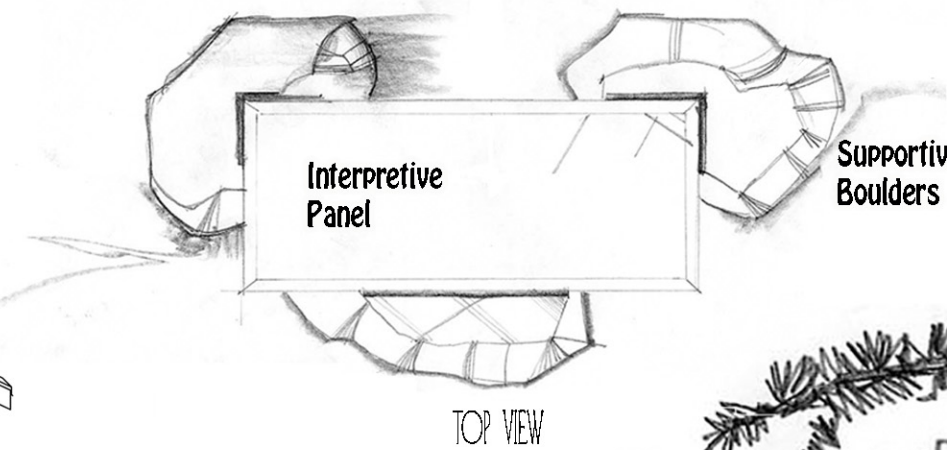
FRONT VIEW



FRONT VIEW

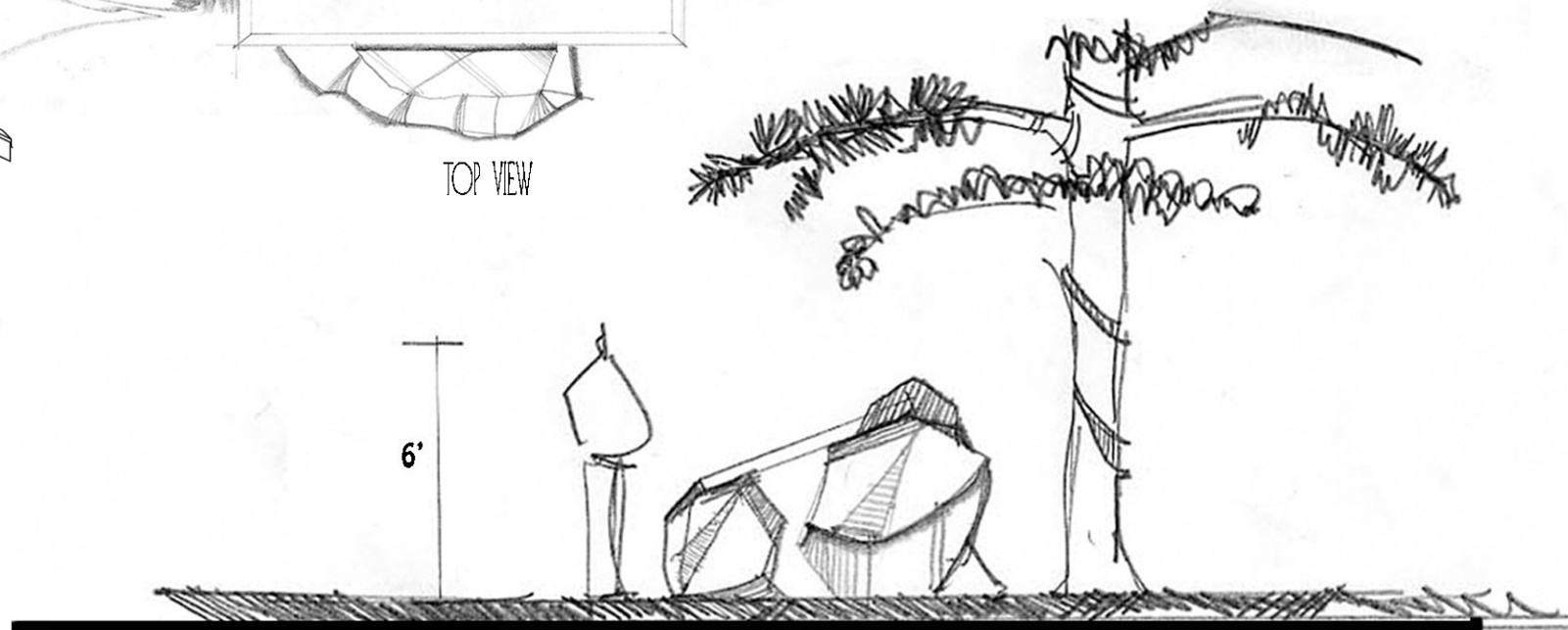


SIDE VIEW



TOP VIEW

Supportive
Boulders



FRONT VIEW

SITE SIGNAGE

Note:
Interpretive Signs same as 'Guide by Cell' signage.
Locations to be determined.

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 12

Project Area

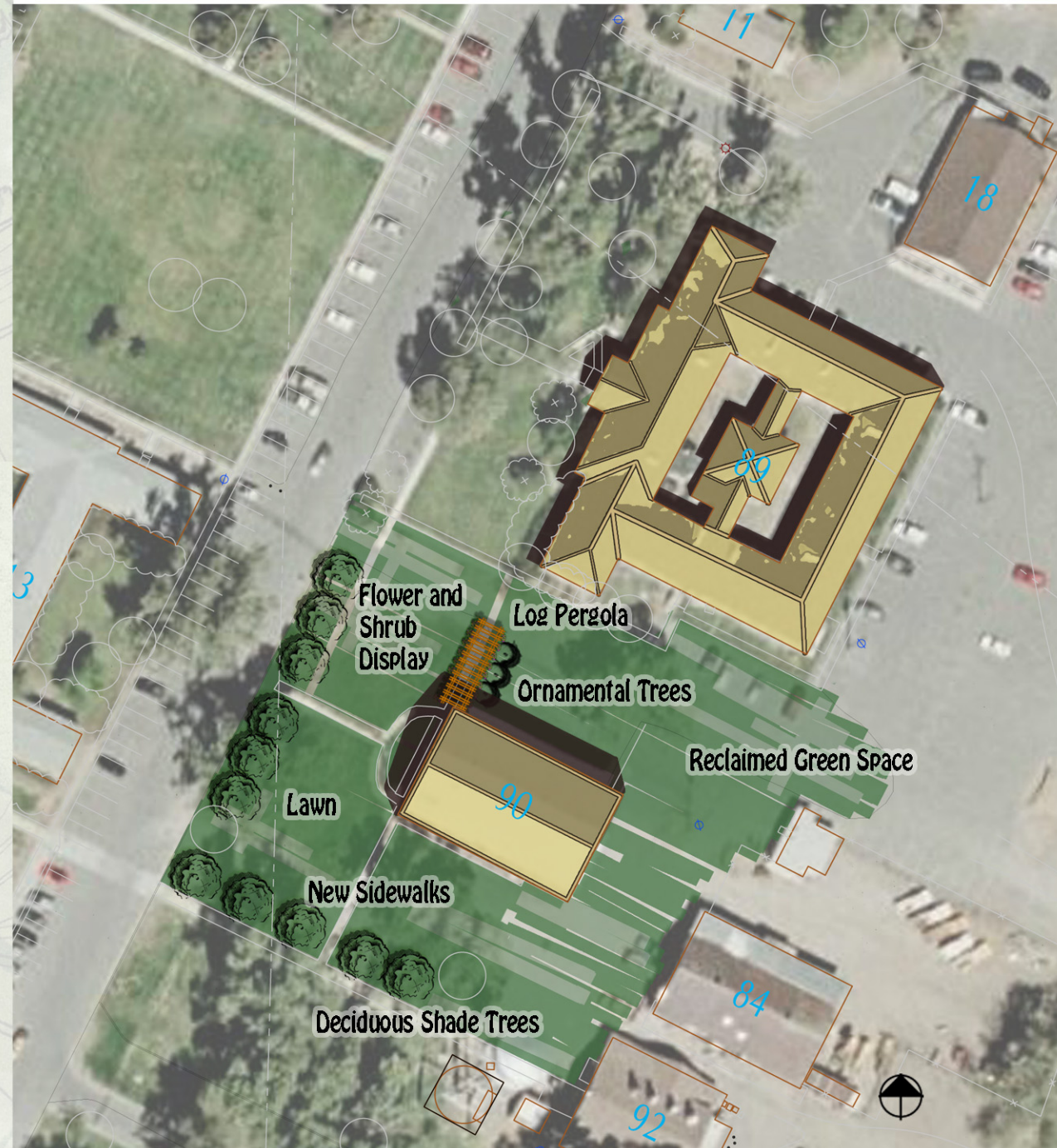


SITE LOCATION MAP



SCALE: 1"=1200'

Auditorium Site Circa 1900s:



ORIGINAL AUDITORIUM RENOVATION SITE PLAN

SCALE: 1"=60'

ORIGINAL AUDITORIUM SITE (BLDG. No.90)

AUGUST 31, 2009

CARSON CITY, NV



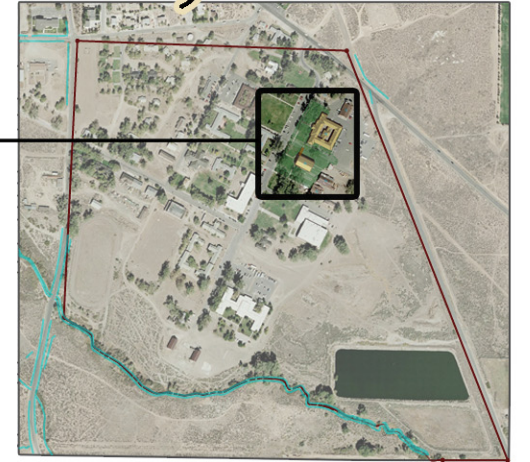
Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 12

Project Area

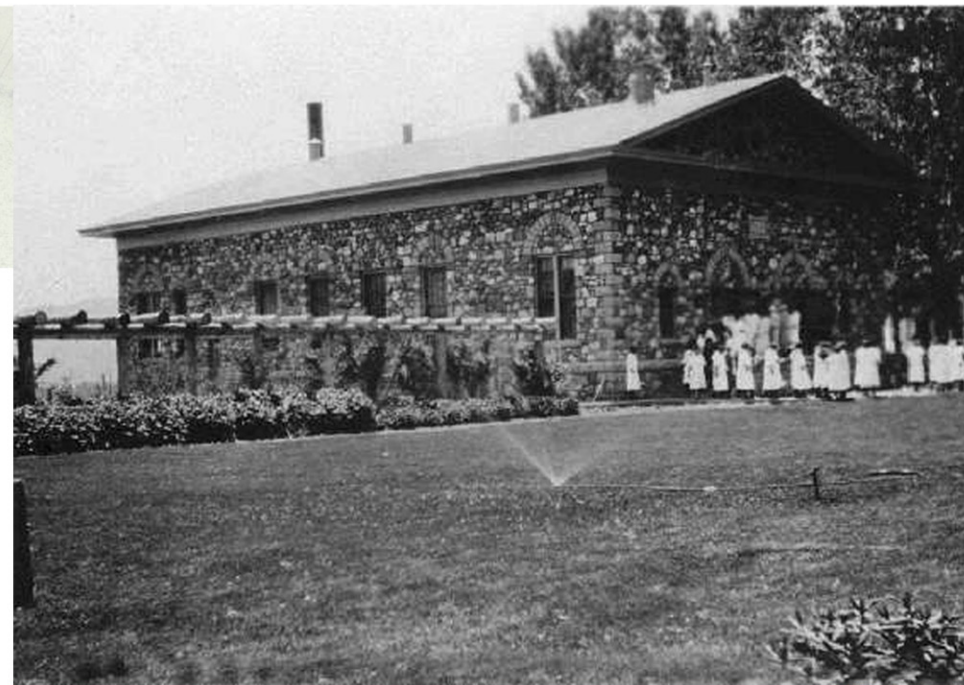


SITE LOCATION MAP



SCALE: 1"=1200'

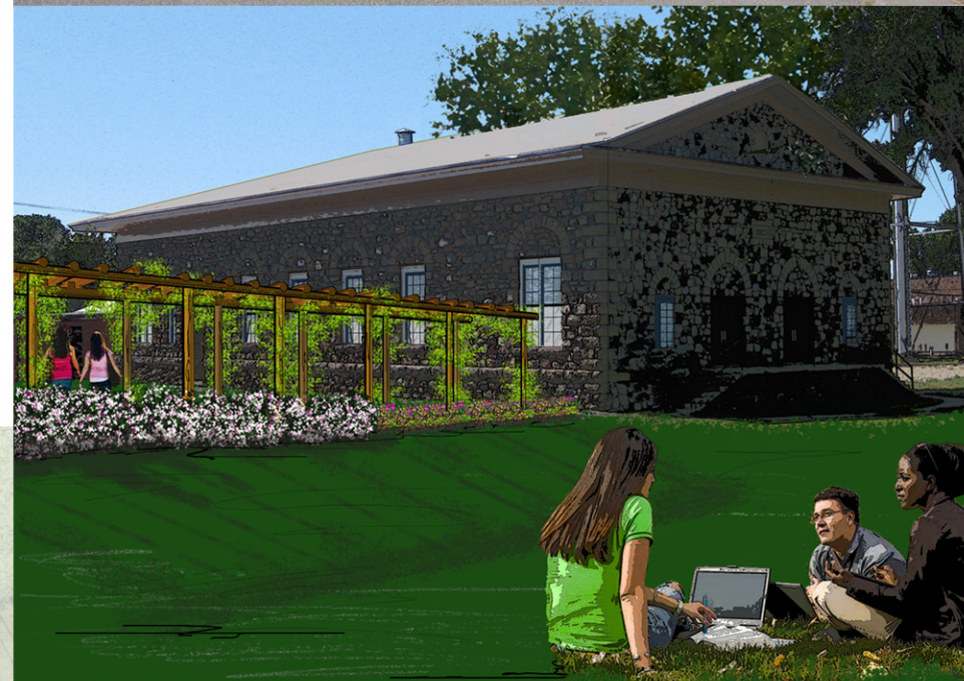
HISTORIC:



CURRENT:



SIMULATION:



ORIGINAL AUDITORIUM SITE (BLDG. No.90)

AUGUST 31, 2009

CARSON CITY, NV

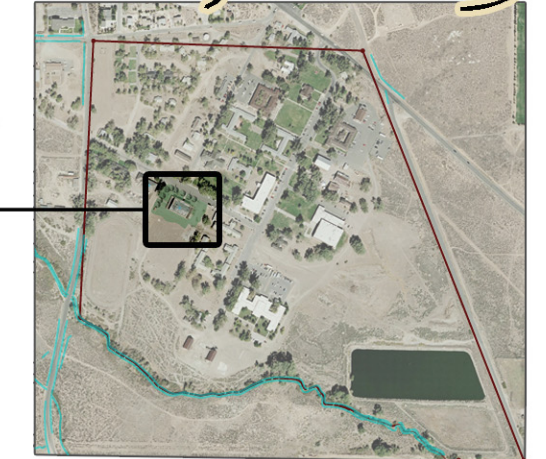


Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 13



Project Area

SITE LOCATION MAP

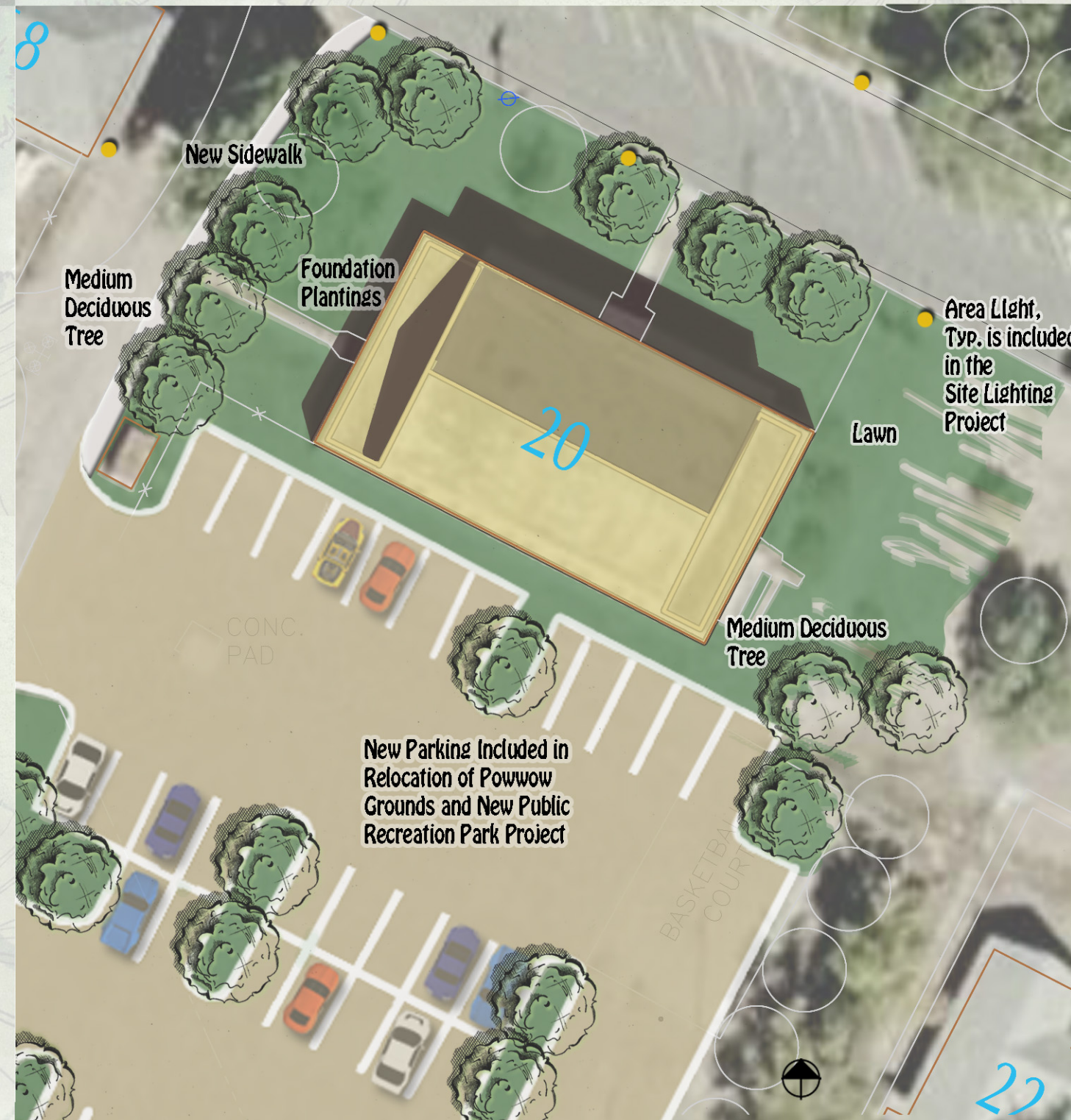


SCALE: 1"=1200'

CURRENT:



SIMULATION



ORIGINAL GYMNASIUM AND SURROUNDING RENOVATION PLAN

SCALE: 1"=80'

ORIGINAL
GYMNASIUM SITE
(BLDG. No. 20)

AUGUST 31, 2009

CARSON CITY, NV

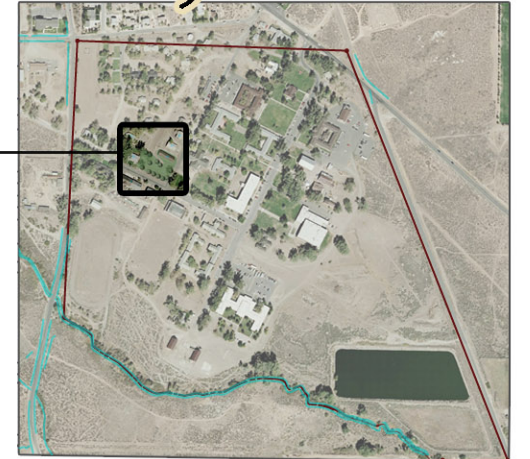


Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 14

Project Area



SITE LOCATION MAP



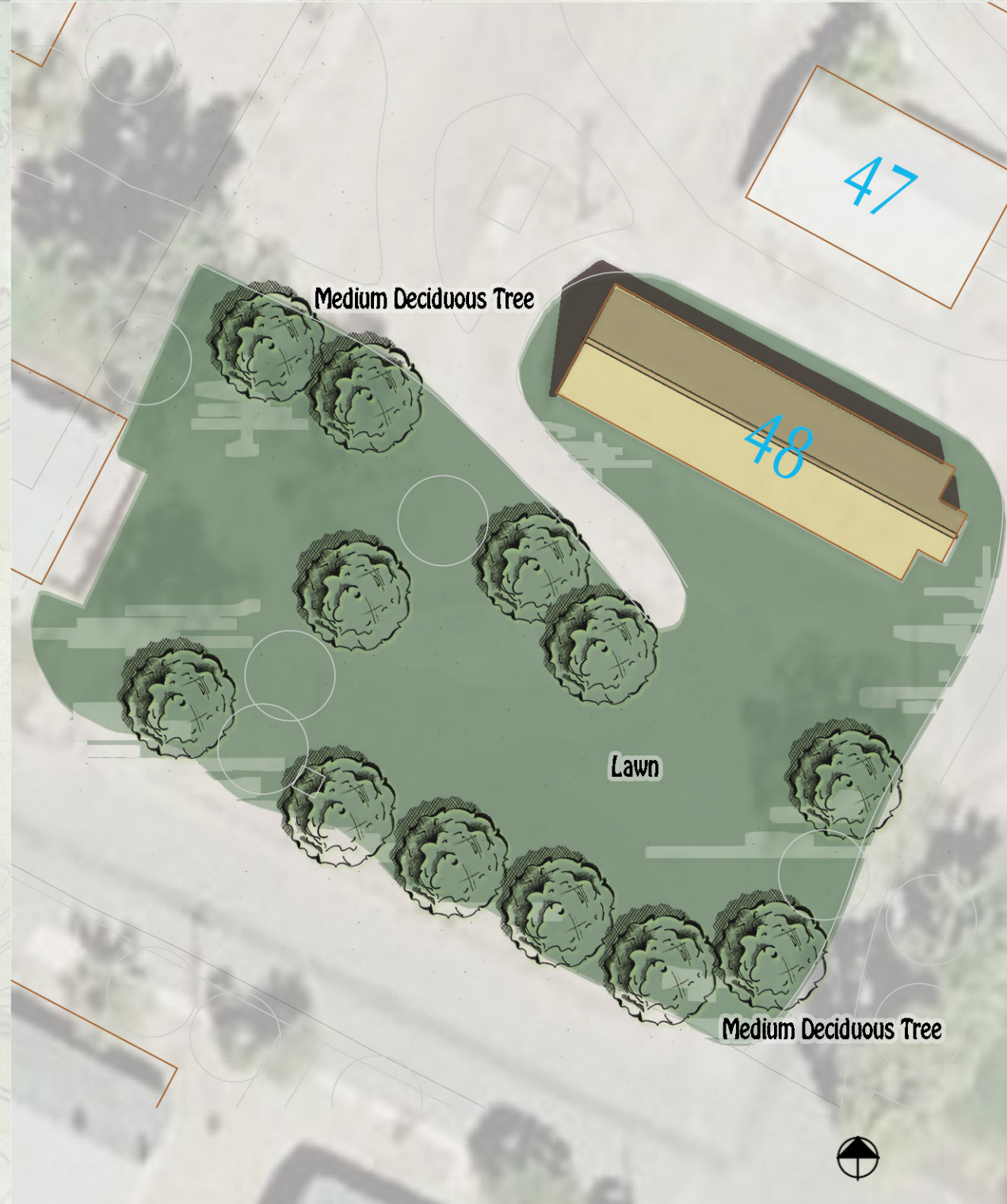
SCALE: 1"=1200'

CURRENT:



SIMULATION

RENOVATION SITE PLAN



SCALE: 1"=40'

ORIGINAL
COMMISSARY SITE
(BLDG. No. 48)

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com



KEY

- Existing Light Pole
- Existing Power Pole
- Existing Overhead Power Line

PROJECT 15

0 100' 200' 400'

SCALE: 1"=200'

Power Lines - 2006:



Removal of Power Lines Simulation

POWER LINES AND POLES

AUGUST 31, 2009

CARSON CITY, NV

PROJECT 16

Project Area



SITE LOCATION MAP



SCALE: 1"=1200'

Photo in Residential - Circa 1958



CURRENT:



SIMULATION



STREETSCAPE RENOVATION SITE PLAN

SCALE: 1"=100'

All existing trees in proposed Residential Streetscape require extreme to moderate pruning

Street Light, Typical

RESIDENTIAL
STREETSCAPE

AUGUST 31, 2009

CARSON CITY, NV

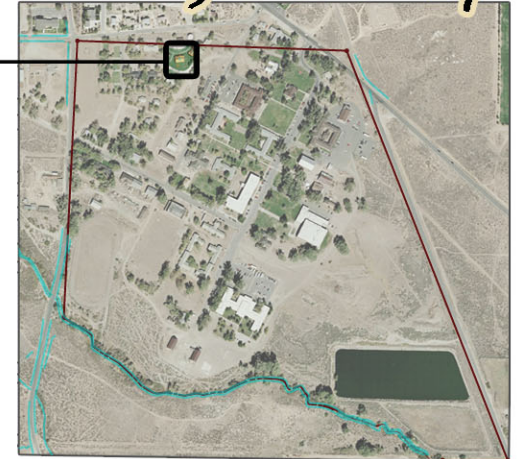


Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture
728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

PROJECT 17

Project Area



SITE LOCATION MAP

SCALE: 1"=1200'



Photo in Residential - 2006



MODEL RESIDENTIAL SITE RENOVATION

SCALE: 1"=20'



Photo in Residential - 2009

MODEL RESIDENTIAL SITE

AUGUST 31, 2009

CARSON CITY, NV



Wyss
Associates, Inc.

Landscape Architecture - Historic Preservation - Golf Course Architecture

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com

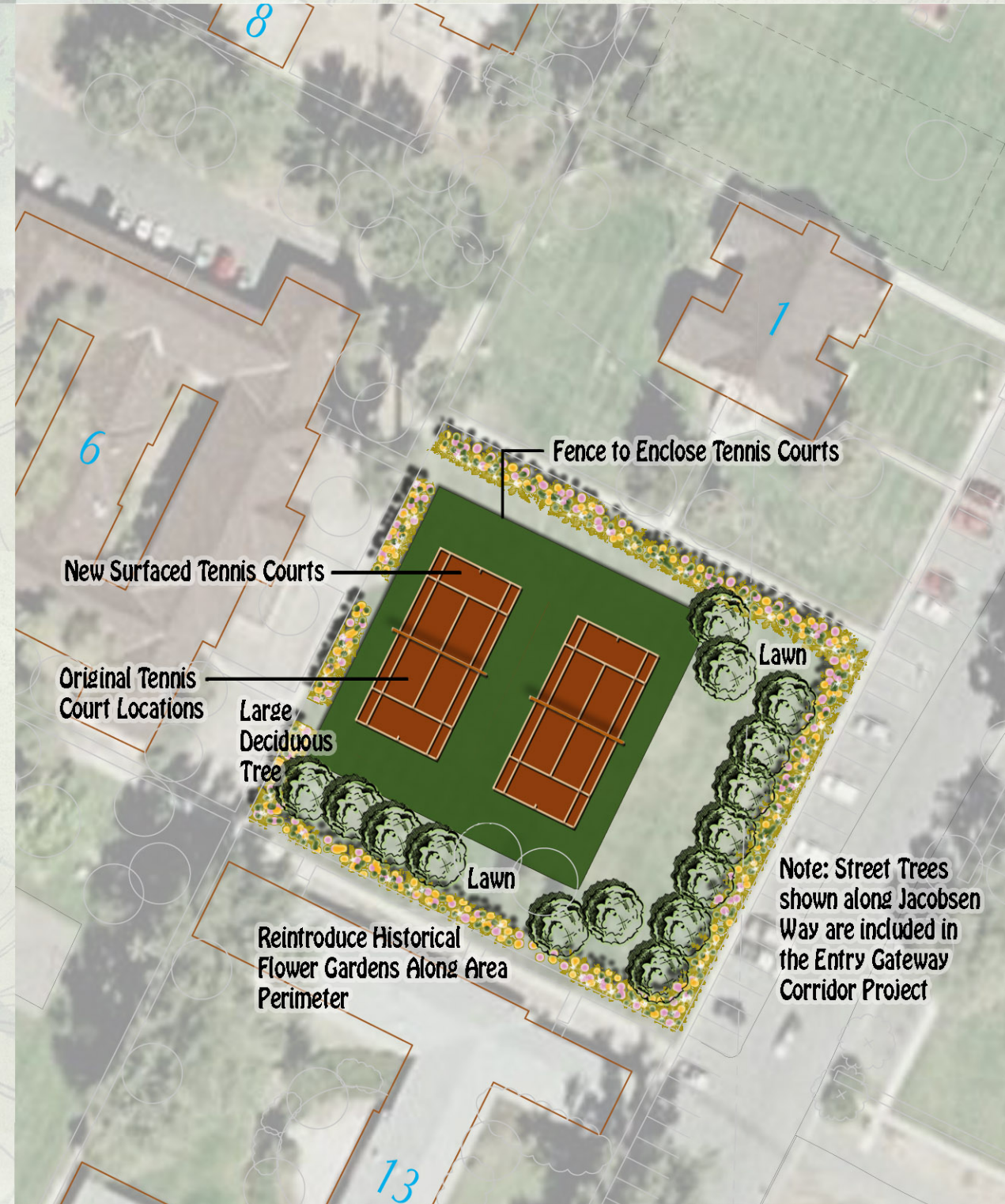
PROJECT 18



SITE LOCATION MAP



SCALE: 1"=1200'



TENNIS COURTS RENOVATION SITE PLAN

SCALE: 1"=60'

Tennis Courts - Circa 1930's:



Tennis Courts - Circa 1930's

REINTRODUCE TENNIS COURTS

AUGUST 31, 2009

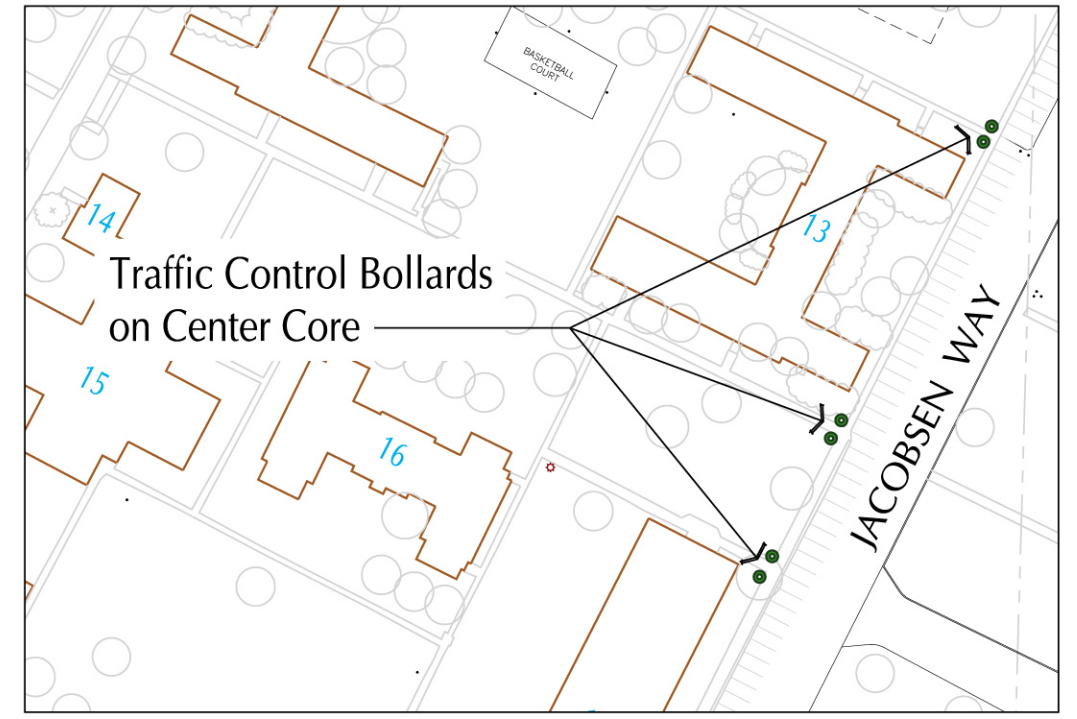
CARSON CITY, NV



Wyss
Associates, Inc.

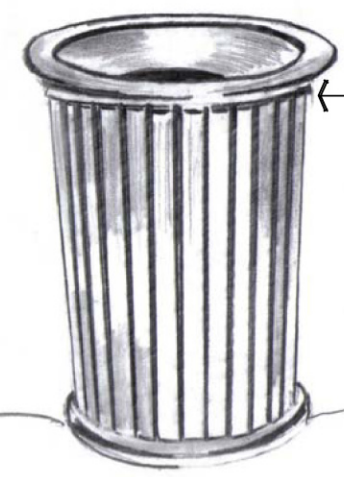
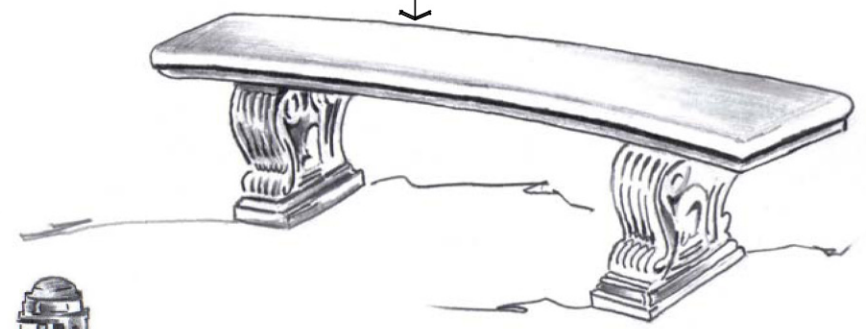
Landscape Architecture - Historic Preservation - Golf Course Architecture

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2266 Fax 605.348.6506 email: info@wyssassociates.com



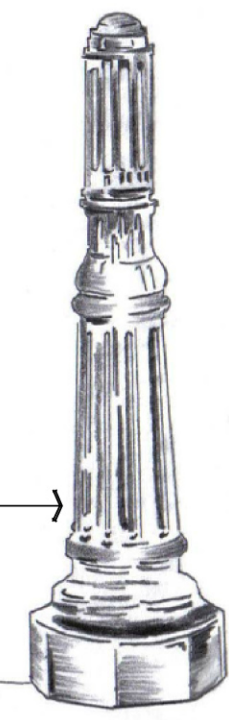
Plan: 1"=120'

Concrete Bench



Cast Aluminum Receptacle

Typical Lighted Bollards at end of Sidewalks for Traffic Control



POTENTIAL SITE FURNISHINGS

CARSON CITY, NV

AUGUST 31, 2009